

TOWN OF MILLVILLE MASSACHUSETTS

Town Hall – Longfellow Municipal Center Facility Condition Assessment Report

January 2015



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Introduction and Summary



Photo of Historic Sign



Exterior View

The Town of Millville, MA has contracted Kleinfelder, Inc. to conduct a visual conditions assessment of the Town Hall per our letter proposal of January 31, 2014. We are pleased to issue this final report which summarizes the four tasks under our scope of work:

1. Documentation

Includes visiting the site, compiling available information, meeting with town officials to garner a general understanding of future needs, and reviewing historic issues.

2. Reviewing MA Building Code Requirements

Determine what will be required versus what is desirable.

3. Prepare Estimates of Probable Construction Cost

One for renovation of the existing building and one for a new building and site.

4. Prepare Final Report

We have explored two general design approaches to aid the Town in their decision-making. First, we have visually assessed the condition of the existing Town Hall as mentioned above and have made assumptions about improvements that will likely be made to meet current building codes and enhance the operational efficiency of the departments. Second, we have assumed the construction of a new Town Hall of similar size on a new site to be selected by the Town.

Budgetary Costs

The budgetary cost for each scenario has been developed. In summary the probable cost of renovation we estimate to be approximately \$2.5 million, and the cost of a new town hall with probable site improvements is approximately \$5.1 million not including AE fees (likely in the 10-12% range), land acquisition costs, and other soft costs such as legal, survey, etc. A pitched roof/s on the new building will add about \$487,629 for a total budget of \$5.59 million.

Not surprisingly, the construction of a new town hall will be the more expensive option, however, new construction does offer several advantages such as: no need to phase the work since Town operations can continue in the existing building until a new building is finished, longer time before future renovations are needed, greater energy efficiency, etc.

Once the Town has decided which direction is most beneficial, renovation versus new construction, Kleinfelder would be pleased to expand our scope of work to develop more detailed designs, assess any new sites you might consider in regard to soils and infrastructure capacity, and to update the cost estimate to reflect current market pricing depending on the time lapse in the work. We have enjoyed working with you and look forward to further discussions.

Architectural Observations

The Millville Town Hall was built in 1850 as a school and contains just under 10,000 gross sf (measuring to the interior face of the exterior wall). It has a net to gross area of 26%; meaning the building is relatively efficient since vertical and horizontal circulation comprise about 1/4 of the total area. It was later re-purposed to serve as the Town Hall. In comparison new buildings of this type can usually be expected to have a net to gross ratio of 25% - 30%. The building has undergone additions and renovations over the years which have significantly changed the building's original architectural character. Most significantly an elevator and ground-level entry were added in recent years.

Kleinfelder staff conducted a building walkthrough in June 2014 to visually observe the condition of the interior and exterior architecture as well as the site. Our team also met with several Town Hall officials to gain a better sense of your needs. Our primary intent was to document existing conditions and note any observed deficiencies which will likely need to be repaired. In addition the Town provided us with a list of existing spaces and staff numbers as well as a preliminary estimate of future space desired and staff numbers (attached in Appendix A).

Exterior

The existing Town Hall is three stories tall including a partially occupied basement, first floor, second floor, and unoccupied attic. A new elevator tower was added to the building in the early 2000s. The area table below summarizes the area of each floor, existing circulation ratios, and approximate future space requirements provided to us by the Town per the attachment in the Appendix A. We have not included in the existing

sq ft areas the basement crawl spaces, attic space, nor the exterior wall assembly.

Area Table					
Floor	Existing Gross SF	Existing Circulation	% Circ.	Future Required Gross SF	With Grossing Factor @ 25%
Basement	1950	400	21	901	1126
1st Floor	4000	1150	29	4642	5802
2nd Floor	4000	1080	27	4020	5025
Attic	0	0	0	0	0
TOTALS	9950	2630	26	9563	11953

The above calculations suggest that your projected future needs can be met by the addition of about 1,000 – 2,000 sf of new or renovated space. Because we believe the existing space can be more efficiently arranged, it may be possible to gain this space without adding a new addition which would require added costs for foundations, site and other work. The use of efficient modern furniture systems will also reduce required space needs.

The exterior is primarily brick masonry walls and stone foundations. The brick is generally in fair condition (*see Figure A1*), meaning there is no severe crumbling or missing bricks.



Figure A1

Some areas are in need of mortar pointing and the stone foundation has areas that show some deterioration (*see Figure A2*). Our estimate assumes

100% facade cleaning and 30% repointing. We have also carried cost for repairing the masonry area which is out of plumb due to partial truss failure (*see Structural section*).



Figure A2

A visual inspection of the asphalt shingle roof revealed significant waving of the roof especially at the ridge line (*see Figure A3*). The shingles themselves appear reasonably new and should last another 15 years or so.



Figure A3

This waving is likely the result of structural damage from a fire and water penetration. These areas will need framing replacement and new shingles. The aluminum gutters and downspouts appear in good condition (*see Figure A4*).



Figure A4

The aluminum windows appear to be replacement windows since the original openings are larger and the windows have been “panned” out to accommodate the smaller windows. They contain insulated glass and are in fair condition. They are not historically compatible with the original architecture. \$100,000 has been carried in the estimate for this work.

We were not able to determine if any insulation has been added to the exterior walls, however, there is batt insulation at the attic floor. The building most likely does not have insulation or an air space behind the brick veneer and does not meet current energy codes. In the future, adding insulation would have to be installed on the interior and then gypsum board added. We carried cost to do this work on the areas expected to undergo major renovation.

The first floor is entered via ramp from the front and stairs from the back of the building (*see Figures A5 and A6*).



Figure A5



Figure A6

The ramp is cracked and the back stair concrete block support wall is also deteriorating (*see Figures A7 and A8*). The crack appears larger than a normal shrinkage crack, and may be caused by the deteriorated side walls or settlement of the subgrade. We doubt it poses a safety issue at this time, but suggest the crack width be monitored once a year to determine if it is growing larger.

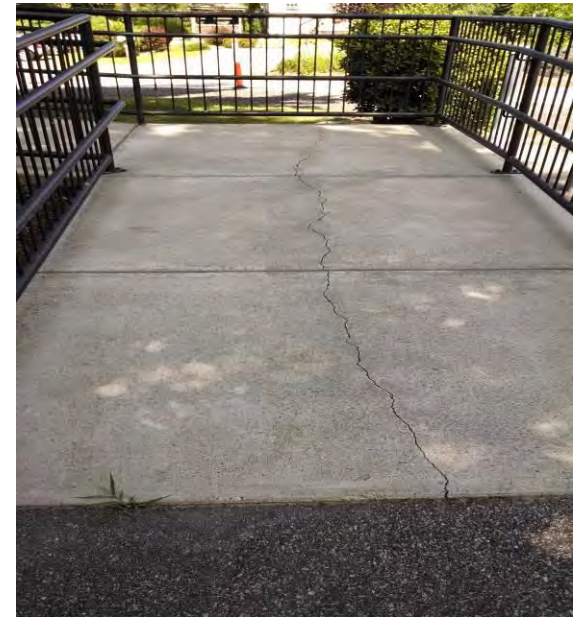


Figure A7



Figure A8

The new elevator addition is entered on grade (*see Figure A9*).



Figure A9

The addition's exterior door is kept locked which enables direct access to the basement level. There are two sets of basement stairs which also enter the basement---one into the mechanical room and one into the radio room. As a result of the elevator addition, the building is accessible to disabled persons, but the elevator is too small to accommodate a stretcher.

We did note that various details do not meet current handicap codes such as door handles, counter heights, and stair rail returns. See the code analysis contained in this report for further discussion of barrier-free requirements. Once major renovations are undertaken, current MAAB barrier-free requirements such as accommodation

of a stretcher and a smoke damper will be required. These are not required at this time.

Interior

The type and quality of interior finishes varies greatly, since many renovations have been made over time. As stated in the structural section of this report, the exterior bearing walls appear in good condition with little evidence of significant cracking. Interior partitions are generally gypsum wallboard (GWB) on studs or wood panel wainscoting. Office walls placed in former classrooms generally do not extend full height and allow sound to travel between offices. Ceiling finishes include: original pressed metal in meeting rooms (see Figure A10), painted GWB, and acoustical tile (ACT).



Figure A10

Floors vary in material including wood, VCT, and carpeting and possibly linoleum.

Some of the basement floors feel spongy, likely due to ground moisture. Some of these floors should have both the flooring and wood furring removed and a new concrete slab on grade installed.

The Emergency Management Area (total of four rooms) has no concrete slab—only wood on top of soil which promotes mold growth. The adjacent rooms (file room, custodial storage and janitor's closet) which have concrete slabs suffer from mold spread likely due to the Emergency Management Room existing conditions. We believe once the new slab is installed the entire area may become mold free. We also understand the Town conducted mold remediation in this area this past summer, so we assume there is no immediate danger. The crawl space has no wood in contact with soil, therefore, mold is likely not a problem assuming proper ventilation. To our knowledge no action is required at this time, but we do recommend your mold specialist monitor the situation on a regular basis.

Materials that should be tested include PCB containing ballasts, transformers, white goods, thermostats, fluorescent bulbs, floor drains and sumps, lead-based paint, and sealants. Be aware that once testing is performed, the code may dictate prompt action by the Town.

There are two interior stairways which are not code compliant because they are not fire rated enclosures (see Figures A11 and A12). These upgrades are not required by code at this time. Future compliance upgrades are included in the estimate.

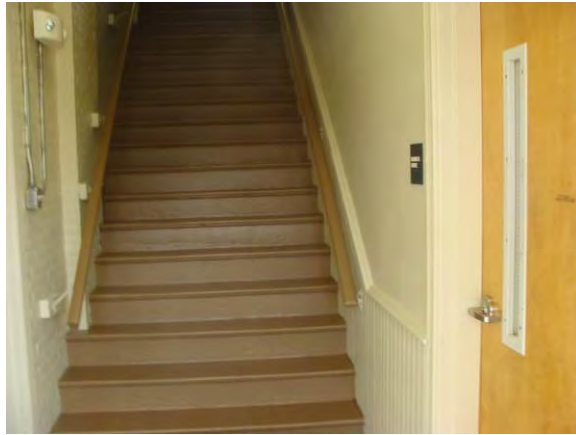


Figure A11



Figure A12

Men's and women's toilet rooms are only located on the first floor which requires occupants on other floors to take the elevator or stair to reach a rest room (see Figure A13).

Since the plumbing already exists, the pipes will be accessible once the old floor is removed. To clarify, the Plumbing Code does require toilets on each floor, however this could be requested by the Plumbing Inspector. In our experience this requirement is often waived by the Inspector based on reasonable accessibility of toilets on other floors. Also, keep in mind that the existing

toilets do not provide adequate fixture count for the future renovation and anticipated occupancy load, but nothing is required by Code at the present. Our estimate does assume the future renovation of the toilet rooms.



Figure A13

There is a poorly configured toilet in the basement. This does not meet the current code which requires toilets, slop sinks and drinking fountains on each floor. The current toilet rooms do contain a handicapped accessible sink and toilet stall. See our code summary section for a fuller description of current code requirements regarding fixture counts.

On the second floor we note the tin ceiling has deflected and is being supported by wood studs (see Figure A14 and the structural narrative for additional comments). We believe the severity of the condition requires immediate analysis and upgrades to the temporary support system (see structural section).



Figure A14

Also, the ceiling near the attic access panel shows signs of water damage. The access panel itself is inadequate for normal access and should be enlarged (see Figure A15).



Figure A15

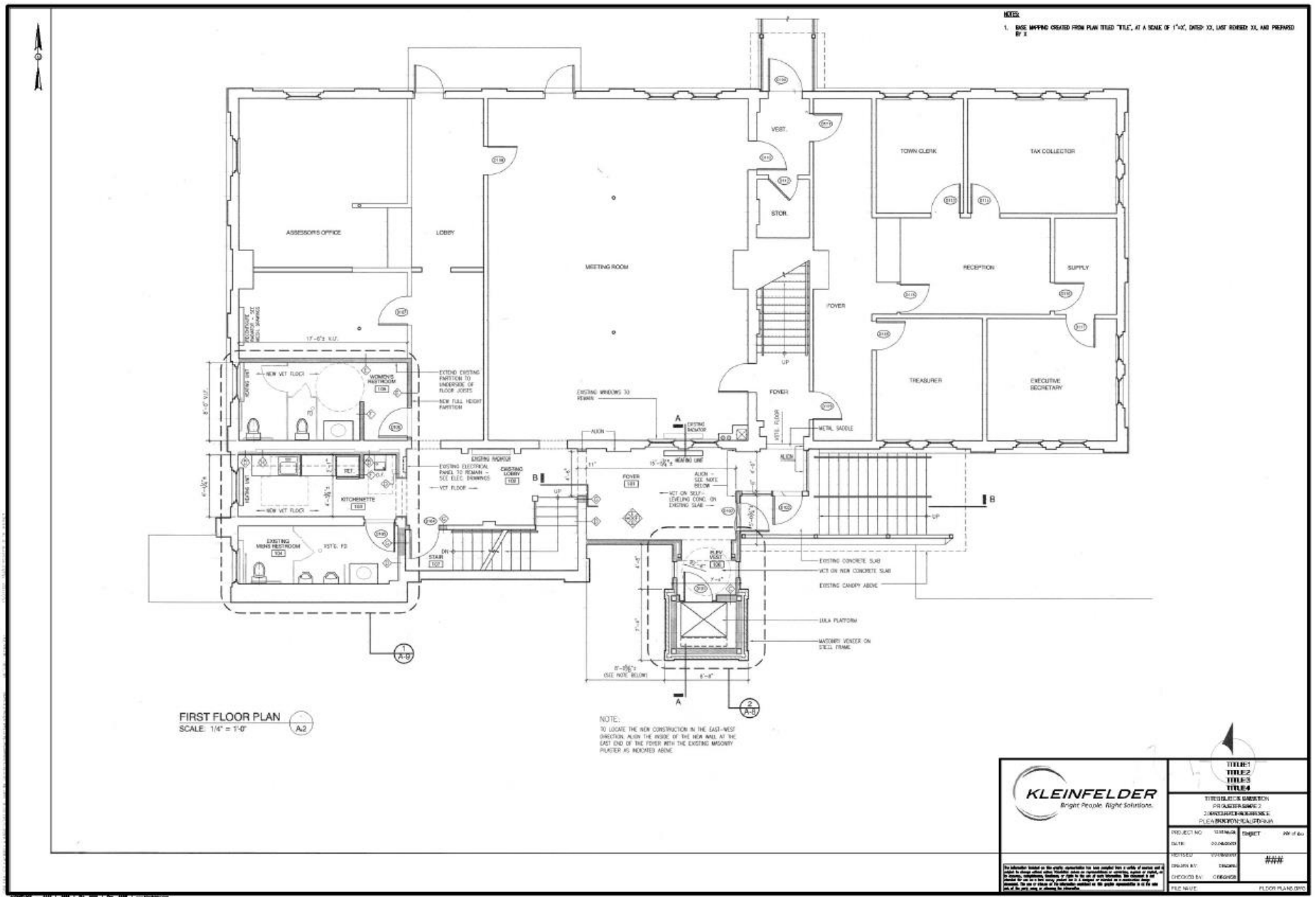
Historic Considerations

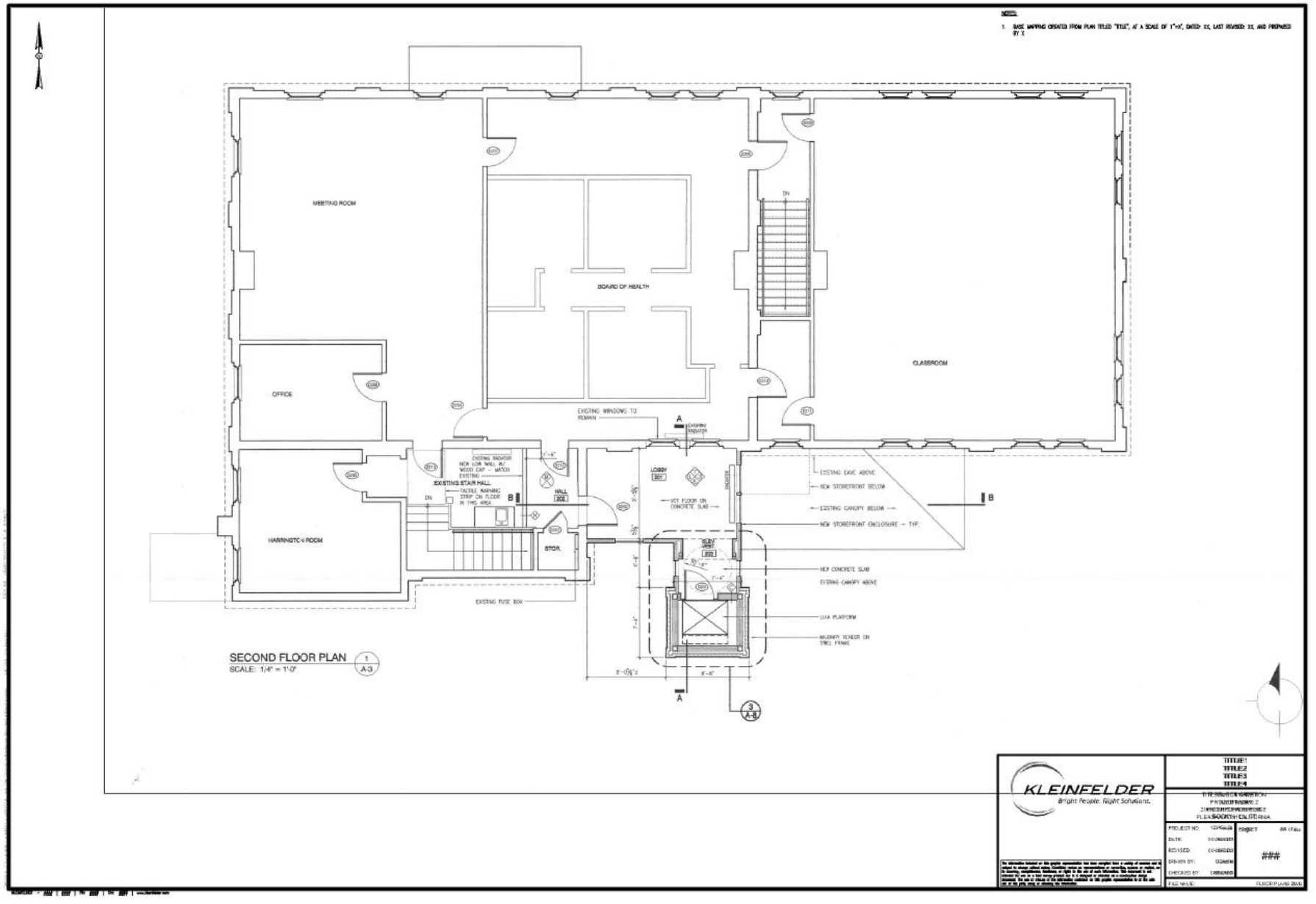
While the building has local historic significance as the original Longfellow School of 1850, a check of the state and federal historic registers do not list it. Therefore, any desired external or internal modifications are not subject to stringent historic

preservation requirements, however, we suggest efforts be made to preserve as much as possible the historic character of the building and any future renovation should be discussed with the local historic commission.

Floor Plans

The following pages show images of the current floor plans for the three levels which were provided by the Town.







Code Summary

Applicable Building Codes:

- 780 CMR: Massachusetts State Building Code, 8th Edition (2009 International Building Code)
- Chapter 34: Existing Structures – International Existing Building Code 2009 (IEBC 2009).
- Massachusetts Architectural Access Board Regulations (527 CMR).
- Mass. General Law Ch. 148 Section 26G

Renovation considerations for existing building requirements within the MSBC 8th Edition are in accordance with the Work Area compliance method as follows:

Reroofing

- Per the Massachusetts State Building Code (MSBC) 780 CMR 8th Edition, when the installation of new rooftop equipment or new roofing material increases the load on structural members by more than 5%, all structural members that support the weight increase must be evaluated for the loads in the MSBC 8th Edition. This should be considered when locating new roofing equipment and choosing new roofing materials to limit additional reinforcing of the structure due to the increased snow loads in the current code.
- A renovation project which includes reroofing of more than 50 percent of the building roof requires that the existing roof diaphragm and connections that are part of the main wind-force resisting system to be evaluated for the wind loads in the current edition of the International Building Code (IBC). During the design phase of a renovation project selective demolition of the existing roofing materials should be performed to identify the existing diaphragm materials and connections and to determine if strengthening of the existing system is required.

- A renovation project which includes reroofing of more than 25 percent of the total roof area anchors must be installed at the roof line to attach the roof diaphragm to the masonry walls. The anchors must be designed to resist the reduced IBC level of seismic forces.

Structural Alterations

- The likely renovation work at the Town Hall qualifies as a Level 3 Alteration with Limited Structural Alteration. It is assumed based on the scope of this report that less than 30 percent of the floor and roof area would require structural alteration. Therefore the entire structure must be analyzed in accordance with the loads applicable at the time of the original construction.
- Any alterations to the existing gravity loads or lateral loads on structural elements by 5 percent or 10 percent respectively require that those elements must be designed in accordance with the loading requirements of the current version of the IBC.

Change of Occupancy

- The 2009 IEBC details the requirements and provisions for buildings or structures that undergo a change in occupancy in chapter 9.
- Per chapter 9 of the IEBC, buildings or portions thereof subject to a change of occupancy which results in an increase in uniform or concentrated loads beyond 5 percent of the existing loading conditions must comply with the gravity load provisions of the current version of the IBC.
- Buildings or structures subject to a change in occupancy that results in higher wind or snow loads shall be analyzed per the snow and wind load provisions detailed in the International Building Code. The existing Town Hall Building has an Occupancy Category of II; therefore, a change in occupancy to Category III or IV would require the existing structure to be analyzed for the wind and snow loads in the current code which

are significantly higher than those used in the original design code. This would likely require significant reinforcement of the existing structure including the installation of new shear walls or braced frames.

Relevance to Millville:

The extent of overall renovations will determine the amount of required structural design and construction that will be required.

Proposed Uses:

The Town Hall is a Mixed Use Group.

- B: Business (Office Areas)
- A-3: Assembly (Selectmen Meeting Room, Veteran's Meeting Room and Classroom Meeting Room).

Proposed Scope of Work & Work Area:

The likely repairs and renovations required to meet preliminary program needs and code required upgrades work area does exceed 50% of the aggregate area of the Town Hall, therefore work would be performed as Level 3 Alterations. IBC 2009 Chapter 4 states Level 3 Alterations apply where the work area exceeds 50 percent of the aggregate area of the building. Level 3 Alteration shall comply with the provisions of Chapter 6 and 7 for Level 1 and 2 Alterations, respectively, as well as the provisions of Chapter 8 of the IBC 2009. All new construction elements, components, systems, and spaces shall comply with the requirements of the 780 CMR 8th Edition (2009 International Building Code). Also improve the safety of building features and systems beyond the work area and in other parts of the building where no alteration work is taking place (i.e. Mech. Systems, Electrical Systems, Sprinklers Systems and installation of additional means of egress such as stairs or fire escapes).

Existing Construction Type:

Type IIB (Noncombustible, Not rated)

Height and Area Limitations:

A "story above grade plane" is defined as any story having its finished floor surface entirely above grade plane, except that a basement shall be considered as a story above grade plane where the finished surface of the floor above the basement is:

1. More than six feet above grade plane;
2. More than six feet above the finished ground level for more than 50% of the total building perimeter; or
3. More than 12 feet above the finished ground level at any point. (780 CMR 202)

Relevance to Millville:

The ground level at the Town Hall is therefore considered a story above grade plane since the finished surface of the floor above the basement meet two of the criteria above. The building is considered a total of 3 stories. Based on a 3-story building with a Use Group A-3 occupancy, the building must be constructed of at least Type IIB materials.

Use Group B: Type IIB Construction

Code Reference	Height	Area
Table 503 for Use Group B	3 St. (55 ft.)	23,000 ft ²
Table 503 for Use Group A-3	2 St. (55 ft.)	9,500 ft ²
Section 506.2: Street Frontage Increase (100% Open)	--	+7,125 ft ²
Total Allowed	2 St. (55 ft.)	26,125 ft ²
Actual Size Height and Area (per floor)	3 St.	9,950 ft ²

Relevance to Millville:

The two meeting rooms and classroom (Use Group A-3) on the first floor and second floor are in excess of 10% of the building gross square footage and require the facility to be classified as Mixed Use Group. This also requires them to be separated by 1-hr construction in order to meet code. The Town Hall may require reducing the A-3 area to under 10% in order to meet the code height and area limitations. For informational purposes, an additional story would be allowed with the addition of a full sprinkler system. This would require a fire pump as the building water supply is from a well and the upgrading the existing emergency generator. Of course structural capacity would have to be carefully analyzed for such an addition.

Fire Resistance Ratings:

The following table summarizes the required fire resistance ratings for various building elements based on 780 CMR Table 601 and other applicable code provisions.

Building Element	Fire Resistance Rating (Hrs.)	Opening Protectives (Hrs.)
Structural Frame	0	
Exterior Bearing Walls	0	
Interior Bearing Walls	0	
Exterior Non-Bearing Walls	Based on FSD	
Interior Non-Bearing Walls	0	
Floor Construction	0	
Roof Construction	0 ^A	
Exit Access Corridors (780 CMR 1018.1)	1	
Use Group A-3 Separation (Meeting Rooms)	1	
Stair Shafts (780 CMR 1022.1)	1 ^B	$\frac{3}{4}$
Other Shafts (780 CMR 707.4)	2 ^B	1½

Fire Pump Room (780 CMR 914.2)	2 ^C	1½
Elevator Machine Room (780 CMR 707.4)	2	1½
Trash Room Greater than 100 ft² in area (780 CMR Table 302.1.1)	1 (Or sprinklers)	$\frac{3}{4}$ -
Storage Rooms Greater than 100 ft² in area (780 CMR Table 302.1.1)	1 (Or sprinklers)	$\frac{3}{4}$ -
Emergency Electrical Room (527 CMR 12.00 700-9(D)(1))	2	1½

- A. Fire protection of structural members shall not be required, including protection of roof framing and decking where every part of the roof construction is 20 feet or more above any floor immediately below.
- B. Where shafts connect three or less stories.
- C. Fire pump room must be accessed via a 2-hr passageway from grade.

Finishes:**Interior Finish****Walls & Ceilings (780 CMR Table 803.5)**

Use Group:	A-3	B
Exit Stair	Class B	Class B
Exit Access Corridors	Class B	Class C
Rooms & Enclosed Spaces	Class C	Class C

Class B: Flame spread = 26-75; smoke-developed 0-450

Class C: Flame spread = 76-200; smoke-developed 0-450

Relevance to Millville:

The two existing stairs & exit corridors would need to be enclosed and have a fire rating of 1 hr.

Means of Egress:

The calculated occupant load for the Town Hall, the corresponding required number of exits, and the provided egress capacity are summarized below (780 CMR Table 1004.1.2, Table 1018.1, and Table 1005.1).

Means of Egress

Floor	Occupant Load	Number of Exits		Exit Capacity (persons)
		Required	Provided	
Ground	20	2	2	213
1	169	2	2	213
2	285	2	2	320

^A Only the egress capacity of the exits currently shown have been evaluated.

- Means of egress doors must be provided with a clear width of at least 32 inches (780 CMR 1008.1.1).
- Stairways must have a minimum width of 44 inches (780 CMR 1009.1).
- Multiple means of egress must be sized such that the loss of any one means of egress does not reduce the available capacity to less than 50% of the required capacity (780 CMR 1005.1).
- Maximum allowed exit access travel distance is 250 feet from Use Group A-3 areas and 300 feet from Use Group B areas in accordance with 780 CMR Table 1015.1.
- Maximum allowed dead end corridor length is < 20 feet or 2.5 times the least width of space (780 CMR 1016.3) for assembly spaces. The maximum dead end corridor length of Use Group B areas must be less than < 50 feet or 2.5 times the least width of space.
- All rooms or spaces with an occupant load greater than 50 people must be provided with two egress doors swinging in the direction of egress and illuminated exit signs at each exit (780 CMR Sections 1014.1, 1008.1.2, & 1011.1).

The Meeting Rooms on the first floor and second floor are required to be provided with two means of egress.

- Egress doors must swing in the direction of egress travel where serving an occupant load of 50 or more people (780 CMR 1008.1.2).
- All rooms or spaces with a travel distance of over 75 feet must be provided with two egress doors and illuminated exit signs at each exit (780 CMR Sections 1014.1 & 1011.1).
- Remote means of egress must be separated by $\frac{1}{3}$ of the diagonal dimension of the room or space they serve (780 CMR 1014.2.1). The distance between exits may be measured along 1 hour fire resistance rated corridors complying with 780 CMR Section 1016 but must otherwise be measured in a straight line between exit doors.
- All required exit stairways must be enclosed with 2-hour rated construction where connecting 4 or more stories (780 CMR 1019.1).
- All egress exits must discharge to the exterior of the building except that a maximum of 50% of the number and capacity of the exit enclosures are allowed to exit through areas on the level of discharge if the egress path fully conforms with the requirements of 780 CMR 1023.1.

Relevance to Millville:

The Town Hall meets the required exits, but has a dead end corridor on the first floor by the Assessor's Office which needs to be corrected by the addition of an exterior exit and stair.

Required Fire Protection Systems:**Building Code:**

- Automatic Sprinkler System (780 CMR 903.2.1.3) Group A-3 area located on a floor other than a level of exit discharge serving such occupancies.
- Voice Alarm Signaling System (780 CMR 907.2.1, 907.2.2)
- Automatic Fire Detection System (780 CMR 907.2.1, 907.2.2)
- Fire extinguishers on all floors (780 CMR 906.2).

Mass. General Law Ch. 148 Section 26G:

Every building or structure, including any additions or major alterations thereto, which totals, in the aggregate, more than 7,500 gross square feet in floor area shall be protected throughout with an adequate system of automatic sprinklers in accordance with the provisions of the state building code. No such sprinkler system shall be required unless sufficient water and water pressure exists.

Relevance to Millville:

The Veterans' meeting room and classroom on the second floor are above the level of exit discharge and would require automatic sprinklers. For informational purposes, these two meeting rooms could be reconfigured to fit new program space and delete the meeting room on the second floor. This would then not require the renovated Town Hall to have an automatic sprinkler system.

Accessibility

521 CMR: Massachusetts Architectural Access Board

All areas open to the public are required to comply with the requirements of the Massachusetts Architectural Access Board (521 CMR). Under 521 CMR 12.1, training facilities are considered educational facilities. This section includes the following major provisions:

- Administrative spaces and areas open to the general public shall comply with 521 CMR (521 CMR Section 12.1.1)
- Meeting rooms must comply with 521 CMR 14: Places of Assembly (521 CMR 12.1.3).
- The maximum slope cannot exceed 1:12 (8.3%) in accordance with 521 CMR 24.2.1.

Relevance to Millville:

The present existing conditions and access to the general public is not fully compliant with the code and would require accessibility upgrades.

Plumbing Fixtures

248 CMR: The Massachusetts State Plumbing Code

The Massachusetts Plumbing Code (248 CMR) regulates the number of plumbing fixtures required throughout buildings. The minimum number of plumbing fixtures is established by 248 CMR 10.10(18) Table 1 based on the building use and the expected population as determined by the local Plumbing Inspector per 248 CMR 10.10 (18)(2).

The Plumbing Inspector must approve the building population; however, the building population can generally be based on the designer's determination of the actual number of people expected within the building. The Plumbing Code expects that the building population will be divided evenly between male and female occupants for the purpose of determining fixture counts. Any distribution other than 50/50 must be described in writing to the Plumbing Inspector.

The following analysis was completed using the actual expected population of the building. The actual expected population is allowed to be used to determine the required number of fixtures with approval of the Plumbing Inspector.

Plumbing Fixture Requirements	Water Closets		Male Urinals	Lavatories Each Sex	Drinking Fountains	Service Sinks
	Female	Male				
Ground Level						
Office Building 20 Total Occupants 10 F, 10 M	1 per 20	1 per 25	33% ^B	1 per 50	1 per floor	1 per floor
Required Fixtures	1	1	-	1	1	1
Total Required Fixtures	1	1	-	2	1	1
Provided Fixtures	0	1	0	1	0	1
First Floor						
Meeting Room 138 Total	1 per 90	1 per 180	1 per 180	1 per 180	1 per 75	1 per floor

Occupants 69 F, 69 M						
Required Fixtures	1	1	1	1	2	1
Office Building 31 Total Occupants 16 F, 16 M	1 per 20	1 per 25	33% ^B	1 per 50	1 per floor	1 per floor
Required Fixtures	1	1	-	1	1	1
Total Required Fixtures	2	2	1	2	2	1
Provided Fixtures	2	1	2	1	1	0
Second Floor						
Meeting Rooms 162 Total Occupants 81 F, 81 M	1 per 90	1 per 180	1 per 180	1 per 180	1 per 75	1 per floor
Required Fixtures	1	1	1	1	1	1
Office Building 24 Total Occupants 12 F, 12 M	1 per 20	1 per 25	33% ^B	1 per 50	1 per floor	1 per floor
Required Fixtures	1	1	Up to 1	1	1	1
Total Required Fixtures	2	2	Up to 1	2	1	1
Provided Fixtures	0	0	0	0	0	0

Relevance to Millville:

The existing plumbing fixtures are not sufficient for the actual expected occupant load, and should be addressed if a major renovation proceeds in the future.

^A Employee toilet facilities may be located such that employees must travel up or down one level where the total distance travelled is less than 300 feet. Additional fixtures must be provided to serve the employees travelling from another level.

^B Urinals may be substituted for toilets up to the percentage shown of the required number.

Structural Observations

Kleinfelder's structural engineer conducted a building walkthrough on July 7, 2014 to visually assess the condition of the building structure. Kleinfelder's engineer identified the building's main structural framing systems and observed deficiencies. The structural elements assessed included exterior facade, the first floor, second floor, and roof framing. A general description of these building elements and observed deficiencies are presented in this report.

Building Additions

It appears that there have been at least 2 additions to the building in the past. The older addition is on the South-West corner of the building. In the center of the building on the south side there is another addition that was constructed in the early 2000's. That addition contains an elevator.

Roof Framing

The building has a pitched, hip roof. It is framed with timber rafters at 24" O.C. which span from the peak of the roof to the exterior, brick, bearing walls. At roughly the mid-span of the rafters there is a beam which spans from the brick party wall to a heavy timber truss which is located below the peak of the hip (see Figure S1).



Figure S1: Roof Framing

There are collar ties that connect the roof rafters on each side of the roof. The appearance of the wood indicates that the collar ties are not part of the original framing.

Attic Framing

The attic framing supports the ceiling of the second floor. The ceiling framing spans perpendicular to the roof rafters. In order to tie the exterior walls dimensional lumber ties have been added just above the ceiling level. The ties appear to have been added at the same time as the collar ties that were attached to the roof rafters.

Second Floor Framing

It was not possible to observe the second floor framing members because they were covered by finishes at the time of the building walkthrough. The framing bears on the exterior walls. In the interior of the building there are steel columns supporting the framing.

First Floor Framing

The first floor is framed with timber joists that span between bearing walls in the basement. Much

of the basement footprint is a crawl space. The remaining portion of the basement has occupied space.

Exterior Walls

The exterior walls of the building are brick bearing walls. Door and window openings have granite lintels.

Foundation Systems

The foundations are construction of mortared field stone. The field stone walls have granite block cap of varying thickness around the perimeter of the building (see Figure S2).



Figure S2: First Floor Framing in Crawl Space

Basement

The maintenance staff indicated that the floor of the MEMA Room (see Figure S3) in the basement was replaced in recent years with lumber sleepers and plywood.



Figure S3: MEMA Room in the Basement

Observed Structural Deficiencies

Visual observations were made of the exterior building facade, roof, wall and floor surfaces and ceilings. No material sampling or testing was performed. Photographs were taken to document existing conditions and are referenced. We recommend that all deficiencies be repaired in a timely manner.

Roof Framing Deficiencies

The roof framing appears to have been charred by a fire in the past. The majority of the framing is blackened (see Figure S4). However, it does not appear that rafters were seriously damaged by the fire.



Figure S4: Charred Roof Rafters

The heavy timber truss appears to have failed in bearing on the south side of the building (see Figure S5). The north side of the truss appears to have been repaired using steel framing at some time in the past. However, no repairs were visible on the south side of the truss. Failure of the truss bearing is evidenced in two ways. The first is that the ceiling has dropped by a few inches in the classroom on the Second Floor. The second implication of the truss failure is that the bearing wall has been visibly pushed out of plumb at the truss bearing location. We recommend that the truss be shored temporarily until further repairs can be made to the truss.

Figure S5: Damaged Truss Bearing
Attic Framing Deficiencies

No deficiencies observed.

Second Floor Framing Deficiencies

No deficiencies observed.

First Floor Framing Deficiencies

No deficiencies observed.

Exterior Walls

In general the exterior walls appear to be in fair to good condition with the following exceptions. The brick chimney on the West face of the building is covered in moss which will cause damage to the brick over time. On the south face of the building there is some deterioration of the brick just above grade on the exterior side of the stair shaft (see Figure S6).



Figure S6: Deteriorated Brick Wall

There is an exterior emergency egress stair landing attached to the north side of the building. The landing is being used to support an antenna; the rest of the stair has been removed.

Foundation Systems

In numerous locations around the building openings in the field stone foundation walls have been poorly patched (see *Figure S7*).



Figure S7: Poor Wall Patches

Basement

The maintenance staff indicated that water flows into the basement during rain storms. The raised floor in the MEMA room felt spongy when conducting a heel-drop test. The lumber sleeper system may be deteriorating due to water infiltration and humidity trapped by the flooring.

Plumbing, Fire Protection, HVAC and Electrical Systems Observations

Fire Protection

The building is not provided with a sprinkler system. Because the building's water supply is a well system a sprinkler system will not be required for a "substantial alteration" or "substantial renovation" as defined by the State Building Code.

Plumbing

In general the plumbing system appears to have been well maintained and with some exceptions is in good condition. The domestic water system is supplied by a well on the building property (well system is shared with the adjacent Police Building). Well water enters the mechanical room where it is pressurized with an existing 250 gallon pneumatic storage tank (*see Figure P1*).



Figure P1. Water Storage Tank

Piping is then run to all fixtures and equipment requiring water, including an underground branch to the Police Building.

Domestic hot water is produced by an existing 50 gallon electric-fired water heater. This heater appears to have exceeded its expected service life and replacement should be considered.

Plumbing fixtures within the building appear to be relatively new and are in very good condition. The MAAB requires that a major renovation shall make all public common areas including entrances, pathways, and restroom code compliant. These general upgrades were accounted for in the estimate. Two exceptions to this are an existing service sink in the mechanical room which may be from original construction and is not provided with a code required sanitary vent; and a counter sink located in the second floor Stair Hall—also not provided with a code required sanitary vent. This sink is not located adjacent to any walls thus making provision of a sanitary vent difficult. Replacement of the service sink and provision of vents may want to be considered; as well as replacement and relocation of the Stair Hall sink may want to be considered.

Roof drainage is accomplished with exterior gutters and downspouts spilling onto grade. Because the roof drainage does not enter the building it is not considered to be a "plumbing" system.

Except for the two sanitary vent issues that should be corrected now, there appears to be no Plumbing Code non-compliance issues observed within the building. The International Existing Building Code defines various levels of alteration. Alteration Level 2 is defined as reconfiguration

which includes the addition of a door or window or extension of any system. Alteration Level 3 is defined as a project where the work area exceeds 50% of the aggregate area of the building. Under Alteration Level 2, the number of plumbing fixtures needs to be increased on a given floor only where the alteration increases the occupant load by more than 20%. In a future Alteration Level 3, the building will need to meet the current code required fixture counts.

Heating

Heating is provided with a central boiler installed in 1996. The boiler distributes hot water to a series of unit heaters, fin tube radiators, and unit ventilators. The boiler is in fair condition and can be expected to operate for the next 5 to 10 years.

Most of the terminal equipment (unit ventilators, heaters and radiators) is original to the building and should be replaced as part of any major future renovation. The flue connects to an original chimney which should be inspected for leaks and could require a lining. All pipe insulation is old and needs to be replaced, and portions of the system do not have insulation (*see Figure P2*). The electric water heater should be replaced.



Figure P2. Heating Piping without Insulation

The elevator hoistway is heated with a ceiling mounted unit heater located in the elevator lobby ceiling which is ducted to the hoistway. A fire damper is provided in the ductwork at the hoistway wall, but a smoke damper is also required.

A pneumatic based control system operates the heating and boiler combustion air intake systems. The control system is operable but pneumatic systems in general need to be updated to meet current standards. Our experience has been that pneumatic control systems, while sufficient when originally installed, are incapable of meeting more sophisticated demands of the current Energy Code. Also, replacement parts, such as controllers, often are no longer available by current manufacturers and so updating to meet current Energy Code requirements can be problematic. As such, major upgrades provide an opportunity to upgrade controls to improve building operations and reliability.

Ventilating

There is not a central mechanical ventilation system and instead the building has miscellaneous approaches. Some rooms rely on operable windows for natural ventilation. Some rooms have ducted natural ventilation with sidewall relief mushroom units (*see Figures P3 and P4*). Note that simply increasing ventilation is unlikely to alleviate the lower level mold issue.



Figure P3. Mushroom Vent



Figure P4. Ducting to Mushroom Vent

Air Conditioning

The building does not have a central air condition system but several rooms have window A/C units. The IT closet in the basement has a dedicated split system. The future renovation is not expected to have a central AC system. We have assumed the cost of central AC in the new building option.

Electrical

A 200amp, 120/240, 1 ϕ secondary service is brought to the building from overhead utility poles. The main distribution panels share space in the mechanical room and water service enters the

building directly adjacent to the main panel (*see Figure P5*).

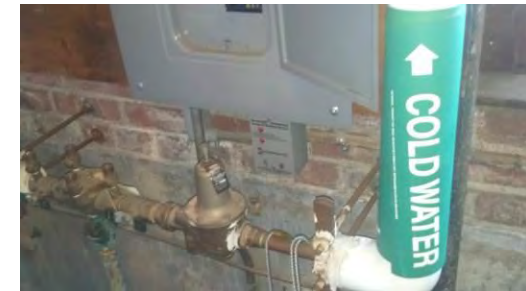


Figure P5. Water Service under the Main Distribution Panel

If the building requires a significant increase in loads, the existing single phase service will not be sufficient and a new 3 phase service will need to be installed. There is 3 phase utility power on the utility poles in the street, but currently, the utility company brought single phase primary power to the utility pole at the back of the building before stepping down to secondary power for the building. Therefore, if three phase power is needed, the utility company will need to bring three phase primary power overhead to the utility pole at the back of the site.

The existing system cannot support any major mechanical increases due to the capacity of the service and due to the fact that it is single phase. While the system will continue to operate, we believe it should be upgraded soon, especially since tripped circuit breakers are commonly occurring. While there are simple approaches to correct nuisance tripping of circuits, such as adding new circuits, a full system upgrade is recommended in the near term.

A 25kW diesel generator is located on site and serves mostly optional standby equipment. The

expected life of a generator is approximately 25 years and the existing generator likely will continue to operate in the near future. It should be noted that the existing generator is classified as an optional standby generator and cannot provide emergency “life safety” loads such as emergency lighting without modifications. Nonetheless, it can continue to provide backup to the loads currently served. However, in the long term we believe a larger capacity system will be preferred to provide both “life safety” lighting as well as additional loads as described in your other comment. The intent of a new generator is to provide backup for IT, life safety lighting, boilers for building freeze protection, and selected lighting and receptacles for continued operation during extended outages.

Typical structured cabling systems consist of telephone/data outlets consisting of RJ45 jacks with Category 6 cabling to data closets. Data closets are connected to a main distribution room with fiber optic cable, and services into the building are terminated in a main distribution room. The existing system is adequate for current needs and where limited renovations are intended. However, where major renovations are expected, existing cabling is typically interrupted and outlets are not located where new workstations are needed. Since existing cabling cannot be spliced and reworking is problematic, we recommend replacement of the cabling system with new distribution. Based on architectural layouts, closets on every floor may not be necessary, but where new closets are provided, dedicated split systems should be provided.

Lighting

Lighting is primarily linear fluorescent fixtures which have been retrofitted with newer T8 lamps

and electronic ballast. While some fixtures are newer, most fixtures have older acrylic lenses which have yellowed or cracked or have rusted housings (*see Figure P6*). All interior lighting is controlled manually. Emergency lighting is provided with unit emergency battery lighting units. The lighting is functional, but to meet current office standards, new lighting and lighting controls should be provided.



Figure P6. Lighting Fixture with Yellowed Lens

Fire Alarm

A newer fire alarm control panel (Firelite MS 4424) was installed in 2011; but most of the original branch initiation and notification devices and circuiting were reconnected to the new FACP. Some newer horn/strobes have been installed, but there are locations where older non-ADA compliant units still remain. Older style hard wired heat detector and smoke detectors are located in many locations throughout the building. The existing branch fire alarm devices are functioning, but as a system the current layout does not meet Code. Furthermore, to add the additional functions and devices necessary to meet Code, it is expected that an entirely new system will be needed. The existing FACP may be reusable, but we suggest a new FACP should be provided as well.

The code requires a building of this size and occupancy to have sprinklers, but provides exceptions to areas where there is not a city water system since the high water demand placed on well systems can be problematic. Our experience has been that fire protection systems are not required in these situations, however, it would be wise to discuss this issue with the fire department, building inspector, and city engineer at the outset of detailed design.

Civil Observations

Site

The site entry is on Fletcher Avenue, off of Central Street, which also provides access to adjacent properties to the north. From Fletcher Avenue there is a rock outcrop traffic island that divides entering and exiting traffic. This island and the entry would likely be tight for large vehicles access. The pavement at the island area is in poor condition and should be replaced. The island also contains a sign indicating accessible parking is in the rear although there is accessible parking near the island as well (see Figures C1 and C2).



Figure C1. Looking West at Entry Island



Figure C2. Looking West at Entry Island

The site slopes from north to south toward the Blackstone River. The elevation varies from a high of 230 near the northeast corner of the building to a low of 224 in the parking area next to the Police Station. The grade continues to fall to the south of the police station to an elevation of 220 at the property line adjacent to the river. Rock outcrops are present at several locations and also visible in the basement of the building.

A portion of the site is likely within 200' of the northern banks of the Blackstone River, which would be considered, 200-foot River Front Area, a wetland resource area under the Massachusetts Wetland Protection Act (WPA). Any new work on the southern side of the site, within 200-feet of the river bank would require permitting with the DEP and Millville Conservation Commission under the WPA.

Parking

There are three distinct parking areas including one to the north of the building, one to the west of the building and two spaces next to the south side of the building for a total of 32 spaces with 3 of those designated as accessible parking. The required number of accessible spaces for a lot containing 26-50 spaces is 2 spaces, so this complies with 521 CMR 23.00. This total does not include four (4) spaces to the northeast corner of the Police Station or any other spaces adjacent to the Police Station, but if those were included, the required number of accessible spaces still complies with the code. Under 521 CMR 23.00, accessible van spaces are required at a ratio of one (1) for every six (6) and the site has no spaces identified as van spaces, nor an 8' accessible aisle for loading, which is also required.

The north parking area includes four total spaces with one designated as accessible that includes signage, a loading area and pavement markings. The blue pavement marking of the handicapped symbol is worn and barely visible. The accessible aisle measured 48" and is required to be 60" in width under 521 CMR 23.00 (see Figures C3 and C4).

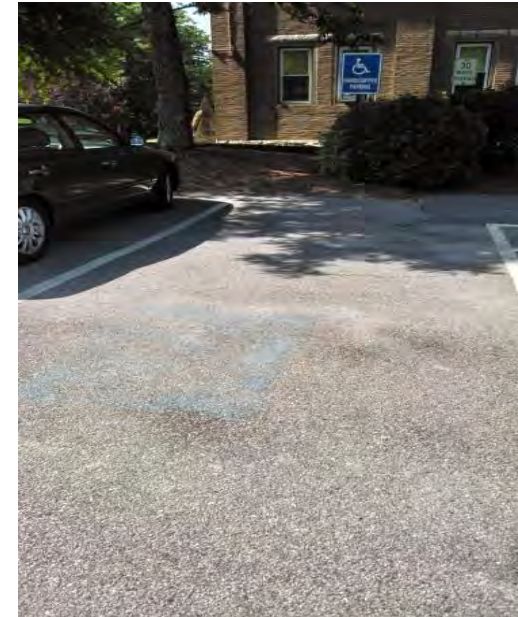


Figure C3. North Parking Area - Faded Pavement Marking



Figure C4. North Parking Area - Faded Pavement Marking

The western parking area includes 26 parking spaces, with no accessible parking spaces, which are not required to be in this area (see Figure C5).



Figure C5. Western Parking Area

The southern parking area includes two (2) accessible spaces that are parallel to the building. The pavement marking dimensions of these spaces meet 521 CMR 23.00 and are in fair condition, however the westernmost space does not have a sign and a small portion of the westernmost corner is over 2% in slope (see Figures C6 and C7).



Figure C6. Southern Accessible Parking Spaces Adjacent to Building



Figure C7. Southern Accessible Parking Spaces Adjacent to Building

Utilities

Water and Fire Protection

Water is provided to the building is provided by a well located to the northeast corner of the Police Station (see Figure C8). From the well, a 1-1/2-inch polyethylene water pipe runs underground to the mechanical room at the southwest corner of the town hall building. From there it enters a pressure tank and feeds the Town Hall and also has another pipe that runs underground to the Police Station. Based on discussions with Town staff there are no known problems with the well or exterior water distribution system.



Figure C8. Well Located Near Northeast Corner of Police Station

Fire hydrants are located along the front of the property on Central Street, one at the corner of Fletcher Ave and the second to the south closer to the river (see Figures C9 and C10).



Figure C9. Hydrant near Fletcher Ave Looking North



Figure C10. Hydrant in Distance near Blackstone River Looking South

Sanitary

Sanitary sewerage from the building is conveyed to a septic system to the southwest of the building. A 4-inch cast iron sanitary pipe was present in the building mechanical room and appeared to line up with a sanitary manhole in the parking lot between the town hall and Police Station to the east of the playground. There was also pavement patching along a likely trench from the building to this manhole (see Figure C11).



Figure C11. SMH and Pavement Patch

Based on discussions with staff, it is likely the septic system is under the playground, but no plans were available. There was a structure labeled “SMW” (sanitary manhole) and existing

tank shown on a plan of record entitled, “Plan to Show Existing Site Conditions, Longfellow School, Millville, Mass., dated August 28, 1990.” It appears that a mounded septic system was installed under the playground sometime after 1990. The signage at the playground indicates it was established July 16, 1999.

Because there is limited information on the existing septic system, so we are unable to clearly locate the system and assess the condition or capacity. If there is no record of pumping out the septic tank, we would recommend at a minimum that the town locate the septic tank and have it pumped out by a licensed septic hauler and have the tank inspected at the time. Most septic haulers are licensed to complete inspections.

Based on a plan of record from 1990 that shows no septic system on the property and the playground opening signage from 1999, we assume the system was installed within this timeframe, so the system is likely 15 to 24 years old. WE would note that Title V, the state septic code, went into effect in 1995, so the system may comply with this code, which had specific requirements that insured better systems than previously installed.

System capacity is based on the building area and use in most cases and the number of bathrooms is not considered. In this case, we would assume the existing system was designed for the full building as an office use. If the building area and use does not change, the capacity of the system may be adequate, but that should be confirmed by reviewing the original design plans of the septic system.

Stormwater

Stormwater from the site runs overland from north to south generally following the slope of the area toward the Blackstone River. There does not appear to be any issues with the exception of the north side of the building where it looks like stormwater can flow toward the building. Based on discussions with staff, a storage area adjacent to this wall did have some problems with water entering and eventually mold forming (see Figures C12 and C13). We have included 100 feet of French drain piping to address this issue.

There was no consideration to changing the parking areas as this was not considered deficient. The current parking lot has no stormwater treatment in place, so if improvements were proposed we would recommend that the parking lot meet the DEP Stormwater Standards (deep sump catch basins, manholes and stormwater treatment system). As the site is in close proximity to the Blackstone River, work in this area may require an approval from the DEP and Millville Conservation Commission.



Figure C12. Poor Overland Drainage Adjacent to North Side of Building

The total number of parking spaces is 32. Based on the building area of 9950 sf this gives a parking ratio of 3.21 spaces per 1000 GSF. In general

office space parking varies from 3.0 to 5.0. Public buildings that might have events or gatherings are more difficult to plan for with respect to parking. If there is a parking shortage and the town would like to add spaces, the area in front of the Police station or along Fletcher Road might offer some opportunities.

Septic system replacement is not included in the renovation estimate, but is assumed for the new construction option.



Figure C13. Poor Overland Drainage Adjacent to North Side of Building

Electric and Telecommunication

Electric and telecommunication services for the building are provided from overhead wires and enter the building at the southwest corner (see Figure C14). There are several utility poles adjacent to and on the site property. There is also a diesel generator located at the west end of the building.

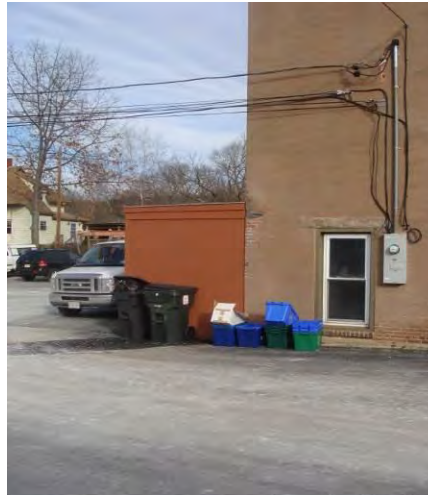


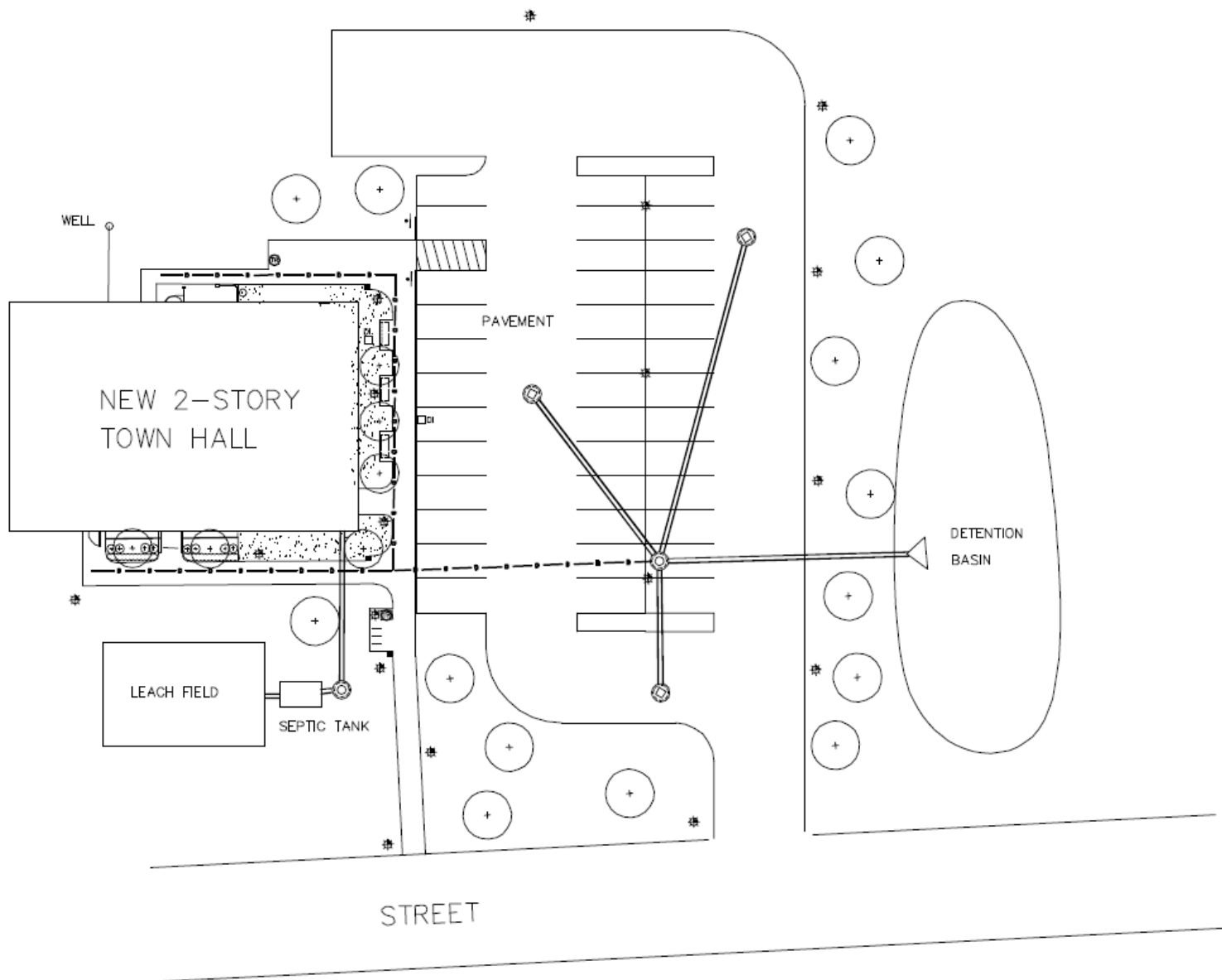
Figure C14. Electric and Telecommunication Services to Building

Opinion of Probable Cost Estimates

Simon Associates was retained by Kleinfelder to prepare two cost estimates based on review of the existing conditions report and verbal descriptions of likely renovations. The estimates show that a new facility of similar size will be approximately twice the cost of renovation. This does not consider the cost of a new site.

The first estimate of approximately \$2.5 million is for renovation of the existing building including reconfiguration to provide more efficient adjacencies. The second estimate of approximately \$5,106,486 assumes a new 11,000 – 12,000 sf building on 2 floors (no basement) as shown in the Concept Site Plan on the next page with a flat roof. An additive alternate cost is calculated for a pitched roof/s, which would add an additional \$487,629. Each estimate is done in sufficient detail to describe each major line item of work. The assumptions for the new building include the following:

- Site is relatively level and necessary utilities can be located on site including a well and septic tank.
- Landscaping will be minimal and new black top parking lot and roadways will be provided.
- The new building will be masonry on metal studs with a flat membrane roof. An alternative cost is provided for a pitched asphalt shingle roof/s.
- Interior finishes will consist of painted GWB walls, carpet in offices and meeting rooms, resilient tile in corridors and stairs, quarry tile at the lobby, and acoustical ceiling tiles with parabolic light fixtures throughout.
- New elevator and two stairs.
- Plumbing distribution to toilet fixtures, drinking fountains and kitchenette sinks and appliances.
- HVAC system consisting of roof top unit(s) with hot water coils, DX cooling, energy recover, ducting to ceiling mounted VAV boxes, and DDC controls for VAV operation.
- Gas fired or fuel oil fired boiler system with piping to RTU and VAV box reheats.
- Electrical power with 1200amp 208/120V, 3 ϕ , 4W electrical service and interior distribution.
- Lighting consisting primarily of LED and linear T5 fluorescent fixtures and occupancy sensor controls.
- Horizontal structured cabling system consisting of Category 6 cabling to telephone/data outlets.
- Fire alarm system will consist of analogue addressable devices with smoke detection throughout building.
- A new exterior mounted diesel generator system will be provided for emergency lighting. Additional optional standby loads will be connected to the generator system such as boilers, additional lighting for extended outages, and selected power for emergency operations.



CONCEPTUAL SITE PLAN FOR
NEW TOWN HALL

12/30/14

1 of 75

Project: <i>Millville Town Hall</i> <i>Millville, Massachusetts</i> Firm: Simon & Associates Co., Inc. 849 East 3rd St, Boston, MA 02127 Cell 617 650 5438 scott.simonassociates@gmail.com	Project No.: RENOVATION EXISTING TOWN HALL NEW TOWN HALL Architect: Kleinfelder Prepared by: S.Simon Chief Estimator
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	<u>SUMMARY</u>										
	<u>RENOVATION OF EXISTING TOWN HALL</u>										
	LOWER LEVEL	\$	509,887								
	FIRST FLOOR	\$	347,923								
	SECOND FLOOR	\$	974,872								
	EXTERIOR VENEER, WINDOWS AND ROOF	\$	401,291								
	Sub-Total Construction FOR RENOVATION OF TOWN HALL	\$	2,233,973								
	CONCEPTUAL DESIGN CONTINGENCY	\$	335,096	15%							
	TOTAL for Renovation of TOWN HALL	\$	2,569,068								
	NEW TOWN HALL & SITE	\$	4,440,423								
	ALTERNATE ADD: PITCHED ROOF	\$	424,025								
	Sub-Total FOR NEW TOWN HALL & SITE W/ PITCHED ROOF	\$	4,864,448								
	CONCEPTUAL DESIGN CONTINGENCY	\$	729,667	15%							
	TOTAL for NEW TOWN HALL	\$	5,594,115								

Appendix A - Town's Future Space Requirements List

The future or “desired” space needs in the following table are based on very preliminary information from the Town. A critical next step will be to meet with key staff to understand and define in greater detail the future needs of the Town Hall.

TOWN OF MILLVILLE, MA
Town Hall - Longfellow Municipal Center
Facility Condition Assessment Report
APPENDIX A

FIRST FLOOR					
DEPARTMENT	EXISTING SPACE	DESIRED SPACE	AREA	CURRENT STAFF	FUTURE STAFF
Treasurer/Collector's Office Closed Office	11'6" x 9'	12' x 12'	144	1	1
Asst. Collector's Office Closed Office	15'6" x 12'	12' x 12'	144	1	1
Computer Server Room	Shared with Asst. Collector's Office	6' X 6' NEW (Climate Controlled)	36	N/A	N/A
Office Supply Storage Closet	11' x 6'6"	6' x 6'	36	N/A	N/A
File Room	Shared with Office Supply	12' x 12' NEW (Closed Room)	144	N/A	N/A
Copier/Fax/Shredder Room	Does not Exist Shared with Business Office	12' x 8' NEW	96	N/A	N/A
Business Office Secretary Open Space	19' x 11'	12' x 12'	144	1	1
Receptionist	Does Not Exist	12' x 8' NEW	96	0	1
Executive Secretary Office Closed Office	12'6" x 12'	16' x 16'	256	1	1
Selectman Conference Room	Does Not Exist	12' x 12' (adjoining the Executive Secretary's office) NEW	144	0	6
Town Clerk Closed Office	12'6" x 12'	16' x 16'	256	1	1
Assistant Town Clerk	Does Not Exist Shares with Town Clerk	12' x 12' NEW	144	1	1

(Information provided by Town of Millville)

TOWN OF MILLVILLE, MA
Town Hall - Longfellow Municipal Center
Facility Condition Assessment Report
APPENDIX A

FIRST FLOOR					
DEPARTMENT	EXISTING SPACE	DESIRED SPACE	AREA	CURRENT STAFF	FUTURE STAFF
Town Clerk - Vault	10' x 5'	24' x 12' (Climate Controlled)	288	N/A	N/A
Town Accountant	Does Not Exist Works from Home	12' x 12' NEW	144	0	1
Board of Assessors Closed Office	18' x 19'6"	16' x 16'	256	1	2
Assessors Information Center	27' x 7'	24' x 8'	192	N/A	N/A
Cable Access - Closed Office	18' x 7'	24' x 12' (Climate Controlled)	288	1	1
Cable Access - Production Room	Does Not Exist	24' x 2' (adjoining the Cable Access Office) NEW	288	N/A	N/A
Kitchen	6'6" x 17'	20' x 8'	160	N/A	N/A
Break Room	Does Not Exist	8' x 8' (adjoining Kitchen) NEW	64	N/A	N/A
Ladies Room	1 Handicapped Stall 1 Normal Stall, 1 Sink 17'6" x 7'6"	1 additional stall 1 additional sink	131	N/A	N/A
Men's Room	1 Stall, 1 Sink and 2 Urinals 17' x 6'	1 additional stall 1 additional sink	102	N/A	N/A
Public Board Meeting Room	27' x 35'		945		20-30
Private Conference Room	Does Not Exist	12' x 12' NEW	144	0	6
Total SF First Floor			4642		

(Information provided by Town of Millville)

TOWN OF MILLVILLE, MA
Town Hall - Longfellow Municipal Center
Facility Condition Assessment Report
APPENDIX A

SECOND FLOOR					
DEPARTMENT	EXISTING SPACE	DESIRED SPACE	AREA	CURRENT STAFF	FUTURE STAFF
Board of health Closed Office	14' x 17'	24' x 24'	576	1	1
Building Inspector Closed Office	18'6" x 11'6"	16' x 16' Inspections Office	256	1	2
Plumbing & Electrical	Does Not Exist	Will be part of "Inspections Office"	0	N/A	N/A
Veterans Agent	Does Not Exist	10' x 10' (Closed Office) NEW	100	1	1
Flag Warden	Does Not Exist	Shared with Veterans Agent	0	1	1
Planning Board Closed Office	11' x 12'	16' x 16' (Shared with Zoning)	256	2	2
Historical Commission Closed Office	11' x 12'	10' x 10'	100	1	1
Trustees of Veterans Park	Does Not Exist	Shared with Veterans Agent	0	1	1
Memorial Day Parade Committee	Does Not Exist	Shared with Veterans Agent	0	N/A	N/A
Highway Department Open Space	12' x 8'	16' x 16' (Closed Office)	256	1	2
Emergency Sleeping Quarters	Shared with Restroom	12' x 12' NEW	144	0	2
Emergency Mgmnt Storage Room	Shared with Restroom	8' x 8' NEW	64	N/A	N/A
Janitor Supply Closet	15' x 8' Not usable due to moisture	8' x 8'	64	N/A	N/A
Custodial Storage Room	30' x 4'	24' x 12'	288	N/A	N/A
Custodial/Janitorial Office	Does Not Exist	10' x 10'	100	N/A	N/A

(Information provided by Town of Millville)

TOWN OF MILLVILLE, MA
Town Hall - Longfellow Municipal Center
Facility Condition Assessment Report
APPENDIX A

SECOND FLOOR

DEPARTMENT	EXISTING SPACE	DESIRED SPACE	AREA	CURRENT STAFF	FUTURE STAFF
File Storage Room	16' x 8'	24' x 12'	288	N/A	N/A
Telephone Closet	2' x 2'	?	4	N/A	N/A
Elevator Mechanical Room	4' x 4'	?	16	N/A	N/A
Boiler Room	14' x 22'	?	308	N/A	N/A
Building Storage Space "Crawl Space"	Not usable due to moisture	?		N/A	N/A
Conservation Commission Open Space	10' x 8' Shared Cubicle	10' x 10' (Closed Office)	100	1	1
Parks and Recreation	Does Not Exist	Shared with Conservation	0	1	1
Zoning Board Open Space	Shared Cubicle	Shared with Planning Board	0	1	1
Cultural Council Open Space	Shared Cubicle	Shared with Conservation	0	1	1
Animal Control	Does Not Exist	10' x 10' NEW	100	1	1
Health Agent	Does Not Exist	Shared with Animal Control	0	1	1
Finance & Capital Planning Committee	Does Not Exist	10' x 10' NEW	100	1	1
Public Meeting Room "Veterans Meeting Room"	24' x 24'	20' x 20'	400	10-15	10-15
Public Meeting Room "The Classroom"	35' x 31'	Historical Display Room? 16' x 16'	256	N/A	N/A
Private Conference Room	Does Not Exist	12' x 12'	144	4	4
Board of Health Supply Closet	4' x 4'	6' x 6'	36	N/A	N/A
Second Floor Copy Rooms	Does Not Exist	8' x 8'	64	N/A	N/A
Total SF Second Floor			4020		

TOWN OF MILLVILLE, MA
Town Hall - Longfellow Municipal Center
Facility Condition Assessment Report
APPENDIX A

DEPARTMENT	BASEMENT		AREA	CURRENT STAFF	FUTURE STAFF
	EXISTING SPACE	DESIRED SPACE			
Emergency Management Office	24' x 12'	24' x 12'	288	4	4
Emergency Management Director Office	11' x 9'	12' x 12'	144	1	1
Emergency Management Radio Room	12'6" x 9'	12' x 12'	144	1	1
Restroom	10' x 10'	Ladies/Men's NEW	100	N/A	
Mechanical Room	15' x 15'	15' x 15'	225	N/A	N/A
Total SF Basement			901		

Appendix B - Cost Estimate Backup

<p>Project: <i>Millville Town Hall</i></p> <p><i>Millville, Massachusetts</i></p> <p>Firm: Simon & Associates Co., Inc.</p> <p>849 East 3rd St, Boston, MA 02127</p> <p>Cell 617 650 5438</p> <p>scott.simonassociates@gmail.com</p>	<p>Project No.: RENOVAION EXISITING TOWN HALL</p> <p>NEW TOWN HALL</p> <p>Architect: Kleinfelder</p> <hr/> <p>Prepared by: S.Simon Chief Estimator</p>
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Project: <i>Millville Town Hall</i> <i>Millville, Massachusetts</i> Firm: <i>Simon & Associates Co., Inc.</i> <i>849 East 3rd St, Boston, MA 02127</i> Cell <i>617 650 5438</i> <i>scott.simonassociates@gmail.com</i>	Project No.:	RENOVATION EXISITING TOWN HALL Lower Level Emergency Management Offices
	Architect:	KLEINFELDER
	Prepared by:	S.Simon
		Chief Estimator

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We Suggest the owner carries 10% Bid Contingency and 5% Potential Changes In Work Contingency, added to the Total Project Cost (TPC).

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Project: <i>Millville Town Hall</i> <i>Millville, Massachusetts</i> Firm: Simon & Associates Co., Inc. 849 East 3rd St, Boston, MA 02127 Cell 617 650 5438 scott.simonassociates@gmail.com	Project No. <i>RENOVATION EXISITING TOWN HALL</i> Lower Level Emergency Management Offices <i>KLEINFELDER</i> Architect: Prepared by: S.Simon Chief Estimator
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Item	Detailed Summary of probable costs	Amounts					SF Cost		1,365.00	SF	
1											
2	Div 1.1 Mobilization	2,030					1.49				
3	Div 2.1a Environmental, soil abatement	0			Cost Not Carried Here		0.00				
4	Div 2.1b DEMOLITION	12,255					8.98				
5	Div 2.3 EARTHWORK	6,340					4.64				
7	Div 2.5 UTILITIES	7,438					5.45				
8	Div 2.6 PAVINGS AND WALKS	20,738					15.19				
9	Div 2.8 LANDSCAPING	4,053					2.97				
10	Div 3.1 CONCRETE	15,379					11.27				
11	Div 6.1 ROUGH CARPENTRY	1,211					0.89				
12	Div 6.2 FINISH CARPENTRY	1,795					1.32				
13	Div 6.3 ARCHITECTURAL WOODWORK	6,777					4.96				
14	Div 7.1 WATERPROOFING, SEALANTS	5,521					4.04				
15	Div 7.2 INSULATION	4,948					3.62				
16	Div 8.1 DOORS & FRAMES	17,755					13.01				
17	Div 8.2 HARDWARE	6,353					4.65				
18	Div 8.3 GLASS	2,269					1.66				
19	Div 9.1 DRYWALL	35,504					26.01				
20	Div 9.2 TILE	14,009					10.26				
21	Div 9.4 RESLIENT	7,475					5.48				
22	Div 9.5 ACOUSTICAL	10,909					7.99				
23	Div 9.6 PAINTING	7,706					5.65				
24	Div 10.1 SPECIALTIES	5,129					3.76				
25	Div 11.1 EQUIPMENT	2,819					2.07				
26	Div 12.1 FURNISHINGS	908					0.66				
27	Div 15.1 SPRINKLER	0			Cost Not Carried Here		0.00				
28	Div 15.2 PLUMBING	12,733					9.33				
29	Div 15.3 HVAC	19,821					14.52				
30	Div 16.1 ELECTRICAL	58,306					42.71				
31	Div 16.1 ELECTRICAL: Generator	60,651					44.43				
32											
33	SUB TOTAL (Trade Costs)	\$ 350,830					257.02				
34											
35	Div 1 GENERAL CONDITIONS / SUPERVISION	\$ 95,206		12.0%							
36	FEE	\$ 21,050		6.0%							
37	Building Permit	\$ 3,508		1.0%							
38	BOND	\$ 4,210		1.2%							
39	Estimators 's CONTINGENCY (Market Conditions)	\$ 35,083		10.0%							
40							SF Cost				
41	TOTAL PROJECT COST (TPC)	\$ 509,887					373.54	Per SF			
42											

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43												
44												
45												
46		<u>Scopes / Description of Work</u>										
47												
48												
49												
50	Div 1.1	Description MOBILIZATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
51					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
52												
53		Mobilization: Site Trailer, Site Fence, Temp Water,Electrical,Sanitary	1,365	sf	0.63	0.00	0.86	1.49	853.13	0.00	1,177.31	2,030
54												
55								Totals	853.13	0.00	1,177.31	2,030
56												
57												
58												
59												
60	Div 2.1b	Description DEMOLITION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
61					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
62												
63		Selective Demolition	1,365	sf	0.75	0.20	6.90	7.85	1,023.75	273.00	9,418.50	10,715
64		Dumpsters costs for selective demolition only	2	ea	725.00	0.00	0.00	725.00	1,539.42	0.00	0.00	1,539
65												
66								Totals	2,563.17	273.00	9,418.50	12,255
67												
68												
69												
70	Div 2.3	Description EARTHWORK	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
71					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
72												
73	excavate	Excavate for new slab LL levels	63	cy	0.00	6.41	9.21	15.63	0.00	405.09	582.32	987
74	excavate	Trucking off Site Excess Materials for Full Bsmt.	63	cy	5.00	3.13	8.98	17.11	315.97	197.48	567.76	1,081
75	backfill	Rough grade site	1,365	sf	0.03	0.28	0.43	0.73	34.13	375.38	588.66	998
76	backfill	Vapor Barrier under SOG	1,365	sf	0.63	0.37	0.58	1.57	853.13	500.50	784.88	2,139
77	backfill	Excavate and Backfill for under slab plumbing, electrical	1,365	sf	0.13	0.28	0.43	0.83	170.63	375.38	588.66	1,135
78												
79								Totals	1,373.85	1,853.83	3,112.27	6,340
80												
81												
82	Div 2.5	Description UTILITIES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
83					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
84												
85		Infiltration Gallery/ French Drain	100	lf	31.25	0.00	43.13	74.38	3,125.00	0.00	4,312.50	7,438
86												
87								Totals	3,125.00	0.00	4,312.50	7,438
88												
89												
90												
91												
92												
93												
94												
95	Div 2.6	Description PAVINGS AND WALKS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
96					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
97												
98		Concrete Walks: place concrete	2	CY	137.50	2.50	43.13	183.13	339.17	6.17	106.38	452
99		Concrete Walks: finish concrete	200	SF	0.13	0.08	1.44	1.65	25.00	16.67	287.50	329

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100		Mesh for Concrete Walks	200	SF	0.27	0.00	3.08	3.35	54.82	0.00	616.07	671
101		Curbing for concrete sidewalks	60	lf	12.50	11.11	19.17	42.78	750.00	666.67	1,150.00	2,567
102	excavate	Excavate for Concrete Walks	2	cy	0.00	6.41	9.21	15.63	0.00	12.82	18.43	31
103	backfill	Concrete Walks Sub- Base Prep. (6" Gravel Base)	5	cy	0.00	4.11	6.45	10.56	0.00	19.04	29.86	49
104		Bituminous Paving , Binder 2" +1.5" Finish	222	sy	7.50	7.75	8.63	23.88	1,666.67	1,722.22	1,916.67	5,306
105	excavate	Excavate for Bit. Paving	123	cy	0.00	6.41	9.21	15.63	0.00	789.41	1,134.78	1,924
106	backfill	Bit. Pavement Sub- Base Prep. (12" Gravel Base)	93	cy	0.00	4.11	6.45	10.56	0.00	380.86	597.25	978
107		Bit. Curbing	230	lf	1.25	4.50	8.63	14.38	287.50	1,035.00	1,983.75	3,306
108		ADA Requirement	1	ls	2,500.00	900.00	1,725.00	5,125.00	2,500.00	900.00	1,725.00	5,125
109												
110								Totals	5,623.15	5,548.85	9,565.69	20,738
111												
112												
113												
114												
115	Div 2.8	Description LANDSCAPING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
116					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
117												
118		Landscaping	500	sf	3.75	0.33	0.58	4.66	1,875.00	166.67	287.50	2,329
119		Loam 4"	12	cy	35.00	25.00	43.13	103.13	405.09	289.35	499.13	1,194
120		Seed	500	sf	0.09	0.36	0.62	1.06	43.75	178.57	308.04	530
121		Trees	0	ea	375.00	166.67	287.50	829.17	0.00	0.00	0.00	0
122		Bark Mulch	0	cy	43.75	3.75	14.38	61.88	0.00	0.00	0.00	0
123												
124								Totals	2,323.84	634.59	1,094.67	4,053
125												
126												
127												
128												
129												
130												
131												
132	Div 3.1	Description CONCRETE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
133					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
134												
135		Slab on Grade: forms, exp jts, poly	1,365	SF	0.36	0.00	2.25	2.61	490.55	0.00	3,065.92	3,556
136		Slab on Grade: rebar labor	1	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	968.01	968
137		Mesh	1,502	SF	0.27	0.00	3.08	3.35	411.54	0.00	4,625.16	5,037
138		Slab on Grade: place concrete	17	CY	137.50	2.50	43.13	183.13	2,314.81	42.09	726.01	3,083
139		Slab on Grade: finish concrete	1,365	SF	0.13	0.08	1.44	1.65	170.63	113.75	1,962.19	2,247
140												
141												
142								Totals	3,876.36	155.84	11,347.28	15,379
143												
144												
145												
146	Div 6.1	Description ROUGH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
147					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
148												
149		Rough Carpentry	1,365	sf	0.31	0.00	0.58	0.89	426.56	0.00	784.88	1,211
150												
151								Totals	426.56	0.00	784.88	1,211
152												
153												
154												
155	Div 6.2	Description FINISH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
156					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost

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157											
158	Finish Carpentry	1,365	sf	0.63	0.00	0.69	1.32	853.13	0.00	941.85	1,795
159											
160							Totals	853.13	0.00	941.85	1,795
161											
162											
163											
164											
165											
166											
167	Div 6.3 Description ARCHITECTURAL WOODWORK	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
168				Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
169											
170	Cabinetry / Counters	30	lf	201.25	0.00	24.64	225.89	6,037.50	0.00	739.29	6,777
171											
172							Totals	6,037.50	0.00	739.29	6,777
173											
174											
175											
176											
177											
178											
179	Div 7.1 Description WATERPROOFING, Sealants	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
180				Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
181											
182	Foundation Wall	1,480	sf	0.50	0.00	1.92	2.42	740.00	0.00	2,836.67	3,577
183											
184											
185	Fire stopping all penetrations	1,365	sf	0.19	0.00	0.43	0.62	255.94	0.00	588.66	845
186											
187											
188	Interior Caulking	1,365	sf	0.31	0.00	0.49	0.81	426.56	0.00	672.75	1,099
189											
190											
191							Totals	1,422.50	0.00	4,098.07	5,521
192											
193											
194											

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195											
196											
197	Div 7.2	Description INSULATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
198					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
199											
200		Foundation slab and walls	0	sf	1.69	0.00	2.16	3.84	0.00	0.00	0.00
201		Insulation interior walls / 50%	650	sf	0.39	0.00	1.71	2.11	256.14	0.00	1,112.35
202		Insulation walls perimeter	1,700	sf	0.39	0.00	1.71	2.11	669.91	0.00	2,909.23
203											
204								Totals	926.05	0.00	4,021.58
205											
206											
207											
208											
209											
210	Div 8.1	Description DOORS & FRAMES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
211					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
212											
213		Exterior Doors single hung	1	ea	1,237.50	0.00	191.67	1,429.17	1,237.50	0.00	191.67
214		Exterior Doors Double hung	1	pr	2,200.00	0.00	246.43	2,446.43	2,200.00	0.00	246.43
215		Interior Doors Single Hung	7	ea	1,237.50	0.00	191.67	1,429.17	8,662.50	0.00	1,341.67
216		Subtotal	9	ea							
217		Door sidelight , Vision Panels	3	ea	1,100.00	0.00	191.67	1,292	3,300.00	0.00	575.00
218											
219								Totals	15,400.00	0.00	2,354.76
220											
221											
222											
223											
224											
225	Div 8.2	Description HARDWARE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
226					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
227											
228		Door Hardware	8	ea	568.75	0.00	123.21	692	4,550.00	0.00	985.71
229		Door Hardware with Panic	1	ea	693.75	0.00	123.21	817	693.75	0.00	123.21
230											
231								Totals	5,243.75	0.00	1,108.93
232											
233											
234											
235											
236											
237											
238	Div 8.3	Description GLASS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
239					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
240											
241		Interior Glazing	42	sf	43.75	0.00	10.27	54.02	1,837.50	0.00	431.25
242											
243								Totals	1,837.50	0.00	431.25
244											
245											

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246												
247												
248	Div 9.1	Description DRYWALL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
249					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
250												
251		Metal Stud Exterior Wall 3-5/8	1,700	sf	2.07	0.00	2.03	4.10	3,519.00	0.00	3,453.13	6,972
252		Metal Stud Interior Wall 3-5/8	2,600	sf	2.07	0.00	2.03	4.10	5,382.00	0.00	5,281.25	10,663
253		Drywall Board Install Exterior Walls	1,700	sf	0.58	0.00	0.89	1.47	992.77	0.00	1,508.49	2,501
254		Drywall Board Finish Exterior Walls (Taping Level 4)	1,700	sf	0.07	0.00	1.00	1.07	114.04	0.00	1,697.05	1,811
255		Drywall Board Install Interior Walls	5,200	sf	0.58	0.00	0.89	1.47	3,036.72	0.00	4,614.20	7,651
256		Drywall Board Finish Interior Walls (Taping Level 4)	5,200	sf	0.07	0.00	1.00	1.07	348.83	0.00	5,190.97	5,540
257		Blocking In Metal Stud walls only	50	lf	3.00	0.00	4.31	7.31	150.00	0.00	215.63	366
258												
259												
260								Totals	13,543.37	0.00	21,960.71	35,504
261												
262												
263												
264												
265												
266												
267												
268	Div 9.2	Description TILE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
269					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
270												
271		Bathroom Floors	100	sf	3.38	0.00	24.64	28.02	337.50	0.00	2,464.29	2,802
272		Bathroom Walls /Wainscot	400	sf	3.38	0.00	24.64	28.02	1,350.00	0.00	9,857.14	11,207
273		Kitchen Tile Floors	0	sf	3.38	0.00	24.64	28.02	0.00	0.00	0.00	0
274												
275								Totals	1,687.50	0.00	12,321.43	14,009
276												
277												
278												
279												
280												
281	Div 9.4	Description RESILIENT	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
282					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
283												
285		RRB Flooring and Rubber Base	1,255	sf	2.34	0.00	2.88	5.22	2,941.41	0.00	3,608.13	6,550
286		Entry MAT Recessed	1	ea	781.25	0.00	143.75	925.00	781.25	0.00	143.75	925
287												
288								Totals	3,722.66	0.00	3,751.88	7,475
289												
290												
291												
292												
293	Div 9.5	Description ACOUSTICAL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
294					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
295												
296		Acoustical ceiling Grid System 100%	1,365	sf	1.00	0.00	2.99	3.99	1,365.00	0.00	4,087.89	5,453
297												
298												
299		Acoustical Ceiling Tiles	1,365	sf	2.50	0.00	1.50	4.00	3,412.50	0.00	2,043.95	5,456
300												
301								Totals	4,777.50	0.00	6,131.84	10,909
302												
303												

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304												
305												
306												
307												
308	Div 9.6	Description PAINTING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
309					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
310												
311		Walls GYP p.w.	1,700	sf	0.50	0.00	0.96	1.46	850.00	0.00	1,629.17	2,479
312		Walls GYP i.w.	2,600	sf	0.50	0.00	0.96	1.46	1,300.00	0.00	2,491.67	3,792
313		Doors	9	ea	25.00	0.00	71.88	96.88	225.00	0.00	646.88	872
314		Misc. Other Painting	700	sf	0.31	0.00	0.49	0.81	218.75	0.00	345.00	564
315												
316								Totals	2,593.75	0.00	5,112.71	7,706
317												
318												
319												
320												
321												
322												
323	Div 10.1	Description SPECIALTIES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
324					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
325												
326		Display Boards	1	ea	375.00	0.00	172.50	547.50	375.00	0.00	172.50	548
327		Louvers and Vents	1	ea	500.00	0.00	345.00	845.00	500.00	0.00	345.00	845
328		Fire Extinguishers	1	ls	500.00	0.00	86.25	586.25	500.00	0.00	86.25	586
329		Toilet Accessories: Mirrors	1	ea	87.50	0.00	115.00	202.50	87.50	0.00	115.00	203
330		Waste Receptacles	1	ea	187.50	0.00	101.47	288.97	187.50	0.00	101.47	289
331		Paper Towel Dispenser	1	ea	350.00	0.00	101.47	451.47	350.00	0.00	101.47	451
332		Sanitary Napkin Disposal	1	ea	375.00	0.00	101.47	476.47	375.00	0.00	101.47	476
333		Toilet Paper Holder	1	ea	62.50	0.00	86.25	148.75	62.50	0.00	86.25	149
334		Seat Cover Dispenser	1	ea	75.00	0.00	101.47	176.47	75.00	0.00	101.47	176
335		Coat Hook	2	ea	12.50	0.00	69.00	81.50	25.00	0.00	138.00	163
336		42" grab bars	2	ea	112.50	0.00	115.00	227.50	225.00	0.00	230.00	455
337		Hand dryer	1	ea	500.00	0.00	287.50	787.50	500.00	0.00	287.50	788
338												
339								Totals	3,262.50	0.00	1,866.38	5,129
340												
341												
342												
343												
344												
345												
346	Div 11.1	Description EQUIPMENT	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
347					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
348												
349		Refrigerator	1	ea	750.00	0.00	215.63	965.63	750.00	0.00	215.63	966
350		Dishwasher	1	ea	625.00	0.00	345.00	970.00	625.00	0.00	345.00	970
351		Garbage Disposal	1	ea	231.25	0.00	287.50	518.75	231.25	0.00	287.50	519
352		Microwave	1	ea	250.00	0.00	115.00	365.00	250.00	0.00	115.00	365
353												
354								Totals	1,856.25	0.00	963.13	2,819
355												
356												
357												
358												

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359											
360											
361	Div 12.1	Description FURNISHINGS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
362					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
363											
364		Window Shades Manual	3	ea	187.50	0.00	115.00	302.50	562.50	0.00	345.00
365											
366								Totals	562.50	0.00	345.00
367											
368											
369											
370	Div 15.2	Description PLUMBING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
371					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
372											
373	rough	Underground plumbing: sanitary	1,365	sf	1.00	0.03	0.39	1.42	1,365.00	40.95	532.35
374	rough	Water Closets ADA	1	ea	0.00	75.00	975.00	1,050.00	0.00	75.00	975.00
375	rough	Lavatory ADA	1	ea	0.00	75.00	975.00	1,050.00	0.00	75.00	975.00
376	rough	Kitchenette Sink	1	ea	0.00	75.00	975.00	1,050.00	0.00	75.00	975.00
377	rough	Dishwasher	1	ea	662.50	37.50	487.50	1,187.50	662.50	37.50	487.50
378	rough	Garbage disposal	1	ea	287.50	37.50	487.50	812.50	287.50	37.50	487.50
379	rough	Hot Water Tank / storage	1	ea	1,037.50	50.00	650.00	1,737.50	1,037.50	50.00	650.00
380	Insulation	Insulation 3/4 " Copper service jacket	30	lf	2.50	0.00	6.50	9.00	75.00	0.00	195.00
381	Insulation	Insulation 1/2" Copper service jacket	40	lf	2.50	0.00	4.88	7.38	100.00	0.00	195.00
382	finish	Water Closets ADA	1	ea	262.50	37.50	487.50	787.50	262.50	37.50	487.50
383	finish	Urinal	1	ea	40.00	37.50	487.50	565.00	40.00	37.50	487.50
384	finish	Janitor's Sink	0	ea	662.50	37.50	487.50	1,187.50	0.00	0.00	0.00
385	finish	Garbage disposal	1	ea	287.50	37.50	487.50	812.50	287.50	37.50	487.50
386	finish	Washer / Dryer connect	1	ea	37.50	37.50	487.50	562.50	37.50	37.50	487.50
387	finish	Final Turn Over, Flushing , Testing, Tags.	1,365	sf	0.13	0.00	0.33	0.45	170.63	0.00	443.63
388											
389								Totals	4,325.63	540.95	7,865.98
390											
391											
392											
393											
394	Div 15.3	Description HVAC	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
395					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
396											
397	Rough	Ductwork supply and returns	1,365	sf	3.94	0.00	3.25	7.19	5,374.69	0.00	4,436.25
398	Rough	VAV Boxes	1	ea	45.00	0.00	195.00	240.00	35.10	0.00	152.10
399	Rough	Kitchen Fans (supplied by others)	1	ea	120.00	0.00	650.00	770.00	120.00	0.00	650.00
400	Rough	Refrigerant piping	1,365	sf	1.13	0.00	0.49	1.61	1,535.63	0.00	665.44
401	Rough	Controls/ wiring	1,365	sf	0.31	0.00	0.49	0.80	426.56	0.00	665.44
402	Insulation	Insulated cw and hot water to piping	1,365	sf	0.50	0.00	0.56	1.06	682.50	0.00	760.50
403	Insulation	Insulated foil / vinyl faced ductwork	784	sf	0.63	0.00	0.98	1.61	493.68	0.00	764.02
404	Finish	Ductwork supply and returns Diffusers	7	ea	22.50	0.00	65.00	87.50	153.56	0.00	443.63
405	Finish	Ductwork supply and returns Diffusers	7	ea	22.50	0.00	65.00	87.50	153.56	0.00	443.63
406	Finish	VAV Boxes	1	ea	750.00	0.00	975.00	1,725.00	585.00	0.00	760.50
407	Finish	Roof Top Units A/C / FHA	4	Ton	750.00	0.00	195.00	945.00	2,925.00	0.00	760.50
408	Finish	Energy Recovery Wheel	1	ea	750.00	0.00	975.00	1,725.00	750.00	0.00	975.00
409	Finish	Bathroom Fans	1	ea	22.50	0.00	487.50	510.00	22.50	0.00	487.50
410	Finish	Controls	1,365	sf	1.13	0.00	0.39	1.52	1,535.63	0.00	532.35
411	Finish	Testing and Balancing	1,365	sf	0.63	0.00	0.65	1.28	853.13	0.00	887.25
412											
413								Totals	10,340.58	0.00	9,480.20
414											
415											

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416											
417											
418	Div 16.1	Description ELECTRICAL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
419					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
420											
421	Rough	Electrical under SOG	1,365	sf	0.63	0.00	0.78	1.41	853.13	0.00	1,064.70
422											
423											
424	Rough	Main Service, Panels, Distribution	171	Amp	7.50	0.00	9.75	17.25	1,279.69	0.00	1,663.59
425	Rough	Light Fixtures	22	ea	37.50	0.00	243.75	281.25	825.00	0.00	5,362.50
426	Rough	Outlets	30	ea	37.50	0.00	139.29	176.79	1,125.00	0.00	4,178.57
427	Rough	Switches; Single Poles, 3ways	1	ea	37.50	0.00	139.29	176.79	37.50	0.00	139.29
428	Rough	Occupancy Sensor Switches; wall, ceiling	9	ea	37.50	0.00	139.29	176.79	337.50	0.00	1,253.57
429	Rough	Telephone / CATV / Data	5	ea	3.75	0.00	139.29	143.04	18.75	0.00	696.43
430	Rough	Fans/Motors/Equipment	1	ea	156.25	0.00	487.50	643.75	156.25	0.00	487.50
431	Rough	Hand Dryers	1	ea	156.25	0.00	325.00	481.25	156.25	0.00	325.00
432	Rough	VAV Boxes (supplied by others)	1	ea	75.00	0.00	650.00	725.00	58.50	0.00	507.00
433	Rough	Water Coolers (supplied by others)	1	ea	156.25	0.00	487.50	643.75	156.25	0.00	487.50
435	Rough	Make Up Air Unit	1	ea	93.75	0.00	650.00	743.75	93.75	0.00	650.00
436	Rough	Kitchen Vents	1	ea	93.75	0.00	325.00	418.75	93.75	0.00	325.00
437	Rough	Bathroom Exhausts	1	ea	93.75	0.00	243.75	337.50	93.75	0.00	243.75
438	Rough	Dishwasher (supplied by others)	1	ea	93.75	0.00	243.75	337.50	93.75	0.00	243.75
439	Rough	Electric Hot Water Heater (supplied by others)	1	ea	93.75	0.00	487.50	581.25	93.75	0.00	487.50
440	Rough	Life Safety	1,365	sf	0.88	0.00	0.65	1.53	1,194.38	0.00	887.25
441	Rough	Temps.	1,365	sf	0.25	0.00	0.33	0.58	341.25	0.00	443.63
442	Rough	Misc Electrical, etc	1,365	sf	0.63	0.00	0.39	1.02	853.13	0.00	532.35
443	Finish	Main Service, Panels, Distribution	171	Amp	3.75	0.00	9.75	13.50	639.84	0.00	1,663.59
444	Finish	Light Fixtures	22	ea	375.00	0.00	243.75	618.75	8,250.00	0.00	5,362.50
445	Finish	Outlets	30	ea	6.25	0.00	139.29	145.54	187.50	0.00	4,178.57
446	Finish	Switches; Single Poles, 3ways	1	ea	6.25	0.00	139.29	145.54	6.25	0.00	139.29
447	Finish	Occupancy Sensor Switches; wall, ceiling	9	ea	18.75	0.00	139.29	158.04	168.75	0.00	1,253.57
448	Finish	Telephone / CATV / Data	5	ea	18.75	0.00	139.29	158.04	93.75	0.00	696.43
449	Finish	Fans/Motors/Equipment	1	ea	0.00	0.00	487.50	487.50	0.00	0.00	487.50
450	Finish	Hand Dryers	1	ea	500.00	0.00	325.00	825.00	500.00	0.00	325.00
451	Finish	VAV Boxes (supplied by others)	1	ea	25.00	0.00	650.00	675.00	19.50	0.00	507.00
452	Finish	Water Coolers (supplied by others)	1	ea	50.00	0.00	487.50	537.50	50.00	0.00	487.50
453	Finish	Make Up Air Unit	1	ea	0.00	0.00	650.00	650.00	0.00	0.00	650.00
454	Finish	Kitchen Vents	1	ea	62.50	0.00	325.00	387.50	62.50	0.00	325.00
455	Finish	Bathroom Exhausts	1	ea	156.25	0.00	243.75	400.00	156.25	0.00	243.75
456	Finish	Dishwasher (supplied by others)	1	ea	62.50	0.00	243.75	306.25	62.50	0.00	243.75
457	Finish	Electric Hot Water Heater (supplied by others)	1	ea	0.00	0.00	487.50	487.50	0.00	0.00	487.50
458	Finish	Life Safety	1,365	sf	1.13	0.00	0.78	1.91	1,535.63	0.00	1,064.70
459	Finish	Misc Electrical, etc	1,365	sf	0.06	0.00	0.39	0.45	85.31	0.00	532.35
460											
461								Totals	19,679.09	0.00	38,626.88
462											
463											
464											
465											
466		Emergency Generator	121	KW	468.75	0.00	32.50	501.25	56,718.75	0.00	3,932.50
467											
468								Totals	56,718.75	0.00	3,932.50
469											
470											
471										Total Cost	118,957

Project:	Millville Town Hall Millville, Massachusetts	Project No.:	RENOVATION EXISITING TOWN HALL First Floor Selective Remodeling
Firm:	Simon & Associates Co., Inc. 849 East 3rd St, Boston, MA 02127	Architect:	KLEINFELDER
Cell	617 650 5438 scott.simonassociates@gmail.com	Prepared by:	S. Simon Chief Estimator

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The Cost Estimate represents a reasonable opinion of costs specific to the project requirements.

Project: <i>Millville Town Hall</i> <i>Millville, Massachusetts</i> Firm: Simon & Associates Co., Inc. 849 East 3rd St, Boston, MA 02127 Cell 617 650 5438 scott.simonassociates@gmail.com	Project No. <i>RENOVATION EXISITING TOWN HALL</i> First Floor Selective Remodeling <i>KLEINFELDER</i> Architect: Prepared by: S. Simon Chief Estimator
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Item	Detailed Summary of probable costs	Amounts				SF Cost		3,900.00	SF	
1										
2	Div 1.1 Mobilization	5,801				1.49				
3	Div 2.1a Environmental, soil abatement	0		Cost Not Carried Here		0.00				
4	Div 2.1b DEMOLITION	7,003				1.80				
5	Div 4.1 MASONRY	3,075				0.79				
6	Div 6.1 ROUGH CARPENTRY	3,461				0.89				
7	Div 6.2 FINISH CARPENTRY	5,129				1.32				
8	Div 6.3 ARCHITECTURAL WOODWORK	6,777				1.74				
9	Div 7.1 WATERPROOFING, SEALANTS	9,131				2.34				
10	Div 7.2 INSULATION	4,948				1.27				
11	Div 8.1 DOORS & FRAMES	15,721				4.03				
12	Div 8.2 HARDWARE	7,170				1.84				
13	Div 8.3 GLASS	2,269				0.58				
14	Div 9.1 DRYWALL	35,151				9.01				
16	Div 9.4 RESLIENT	10,815				2.77				
17	Div 9.5 ACOUSTICAL	9,351				2.40				
18	Div 9.6 PAINTING	9,877				2.53				
19	Div 10.1 SPECIALTIES	6,668				1.71				
20	Div 12.1 FURNISHINGS	5,748				1.47				
21	Div 15.1 SPRINKLER	0		Cost Not Carried Here		0.00				
22	Div 15.2 PLUMBING	15,465				3.97				
23	Div 15.3 HVAC	0		None Required		0.00				
24	Div 16.1 ELECTRICAL	58,358		Upgrade Lighting		14.96				
25										
26	SUB TOTAL (Trade Costs)	\$ 221,913				56.90				
27										
28	Div 1 GENERAL CONDITIONS / SUPERVISION	\$ 85,621		12.0%						
29	FEE	\$ 13,315		6.0%						
30	Building Permit	\$ 2,219		1.0%						
31	BOND	\$ 2,663		1.2%						
32	Estimators 's CONTINGENCY (Market Conditions)	\$ 22,191		10.0%						
33						SF Cost				
34	TOTAL PROJECT COST (TPC)	\$ 347,923				89.21 Per SF				

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35												
36												
37												
38												
39		<u>Scopes / Description of Work</u>										
40												
41												
42												
43	Div 1.1	Description MOBILIZATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
44					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
45												
46		Mobilization: Site Trailer, Site Fence, Temp Water,Electrical,Sanitary	3,900	sf	0.63	0.00	0.86	1.49	2,437.50	0.00	3,363.75	5,801
47												
48								Totals	2,437.50	0.00	3,363.75	5,801
49												
50												
51												
52												
53	Div 2.1b	Description DEMOLITION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
54					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
55												
56		Selective Demolition 20%	780	sf	0.75	0.20	6.90	7.85	585.00	156.00	5,382.00	6,123
57		Dumpsters costs for selective demolition only	1	ea	725.00	0.00	0.00	725.00	879.67	0.00	0.00	880
58												
59								Totals	1,464.67	156.00	5,382.00	7,003
60												
61												
62												
63												
64												
65												
66	Div 4.1	Description MASONRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
67					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
68												
69		Open masonry walls for new Door Opening	2	ls	500.00	175.00	862.50	1,537.50	1,000.00	350.00	1,725.00	3,075
70												
71								Totals	1,000.00	350.00	1,725.00	3,075
72												
73												
74												
75												
76	Div 6.1	Description ROUGH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
77					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
78												
79		Rough Carpentry	3,900	sf	0.31	0.00	0.58	0.89	1,218.75	0.00	2,242.50	3,461
80												
81								Totals	1,218.75	0.00	2,242.50	3,461
82												
83												
84												
85	Div 6.2	Description FINISH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
86					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
87												
88		Finish Carpentry	3,900	sf	0.63	0.00	0.69	1.32	2,437.50	0.00	2,691.00	5,129
89												
90								Totals	2,437.50	0.00	2,691.00	5,129
91												

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92												
93												
94												
95												
96												
97	Div 6.3	Description ARCHITECTURAL WOODWORK	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
98					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
99												
100		Cabinetry / Counters	30	lf	201.25	0.00	24.64	225.89	6,037.50	0.00	739.29	6,777
101												
102								Totals	6,037.50	0.00	739.29	6,777
103												
104												
105												
106												
107												
108												
109	Div 7.1	Description WATERPROOFING, Sealants	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
110					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
111												
112		Foundation Wall	1,480	sf	0.50	0.00	1.92	2.42	740.00	0.00	2,836.67	3,577
113												
114												
115		Fire stopping all penetrations	3,900	sf	0.19	0.00	0.43	0.62	731.25	0.00	1,681.88	2,413
116												
117												
118		Interior Caulking	3,900	sf	0.31	0.00	0.49	0.81	1,218.75	0.00	1,922.14	3,141
119												
120												
121								Totals	2,690.00	0.00	6,440.68	9,131
122												
123												
124												

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125											
126											
127	Div 7.2	Description INSULATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
128					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
129											
130		Foundation slab and walls	0	sf	1.69	0.00	2.16	3.84	0.00	0.00	0.00
131		Insulation interior walls / 50%	650	sf	0.39	0.00	1.71	2.11	256.14	0.00	1,112.35
132		Insulation walls perimeter	1,700	sf	0.39	0.00	1.71	2.11	669.91	0.00	2,909.23
133											
134											
135								Totals	926.05	0.00	4,021.58
136											
137											
138											
139											
140	Div 8.1	Description DOORS & FRAMES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
141					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
142											
143		Exterior Doors single hung	2	ea	1,237.50	0.00	191.67	1,429.17	2,475.00	0.00	383.33
145		Interior Doors Single Hung / 30%	9	ea	1,237.50	0.00	191.67	1,429.17	11,137.50	0.00	1,725.00
146		Subtotal	11	ea							
148											
149											
150								Totals	13,612.50	0.00	2,108.33
151											
152											
153											
154											
155	Div 8.2	Description HARDWARE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
156					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
157											
158		Door Hardware	8	ea	568.75	0.00	123.21	692	4,550.00	0.00	985.71
159		Door Hardware with Panic	2	ea	693.75	0.00	123.21	817	1,387.50	0.00	246.43
160											
161											
162											
163											
164											
165											
166											
167											
168	Div 8.3	Description GLASS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
169					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
170											
171		Interior Glazing	42	sf	43.75	0.00	10.27	54.02	1,837.50	0.00	431.25
172											
173								Totals	1,837.50	0.00	431.25
174											
175											

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176												
177												
178	Div 9.1	Description DRYWALL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
179					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
180												
185		Drywall Board Install Interior Walls 60% remodel work	1,944	sf	0.58	0.00	0.89	1.47	1,135.27	0.00	1,725.00	2,860
186		Drywall Board Finish Interior Walls (Taping Level 4)	1,944	sf	0.07	0.00	1.00	1.07	130.41	0.00	1,940.63	2,071
187		Blocking In Metal Stud walls only	30	lf	3.00	0.00	4.31	7.31	90.00	0.00	129.38	219
187		Enclose / 1 hour fire rated stairs from 1st to 2nd Fl, Add DR &Hdwre	1	ls	15,000.00	0.00	15,000.00	30,000.00	15,000.00	0.00	15,000.00	30,000
188												
189												
190								Totals	16,355.68	0.00	18,795.00	35,151
191												
192												
193												
194												
195												
196												
197												
198												
199	Div 9.4	Description RESILIENT	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
200					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
201												
203		RRB Flooring and Rubber Base 50% new	1,895	sf	2.34	0.00	2.88	5.22	4,441.41	0.00	5,448.13	9,890
205		Entry MAT Recessed	1	ea	781.25	0.00	143.75	925.00	781.25	0.00	143.75	925
206												
207								Totals	5,222.66	0.00	5,591.88	10,815
208												
209												
210												
211												
212	Div 9.5	Description ACOUSTICAL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
213					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
214												
215		Acoustical ceiling Grid System 30%	1,170	sf	1.00	0.00	2.99	3.99	1,170.00	0.00	3,503.91	4,674
217												
218												
219		Acoustical Ceiling Tiles 30%	1,170	sf	2.50	0.00	1.50	4.00	2,925.00	0.00	1,751.95	4,677
220												
221								Totals	4,095.00	0.00	5,255.86	9,351
222												
223												
224												
225												
226												
227												
228	Div 9.6	Description PAINTING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
229					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
230												
232		Walls GYP i.w.	3,888	sf	0.50	0.00	0.96	1.46	1,944.00	0.00	3,726.00	5,670
233		Doors	11	ea	25.00	0.00	71.88	96.88	275.00	0.00	790.63	1,066
234		Misc. Other Painting, areas with no renovation	3,900	sf	0.31	0.00	0.49	0.81	1,218.75	0.00	1,922.14	3,141
235												
236								Totals	3,437.75	0.00	6,438.77	9,877
237												
238												
239												

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240												
241												
242												
243	Div 10.1	Description SPECIALTIES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
244					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
245												
246		Display Boards	1	ea	375.00	0.00	172.50	547.50	375.00	0.00	172.50	548
248		Fire Extinguishers	2	ls	500.00	0.00	86.25	586.25	1,000.00	0.00	172.50	1,173
249		Toilet Accessories: Mirrors	2	ea	87.50	0.00	115.00	202.50	175.00	0.00	230.00	405
250		Waste Receptacles	2	ea	187.50	0.00	101.47	288.97	375.00	0.00	202.94	578
251		Paper Towel Dispenser	2	ea	350.00	0.00	101.47	451.47	700.00	0.00	202.94	903
252		Sanitary Napkin Disposal	1	ea	375.00	0.00	101.47	476.47	375.00	0.00	101.47	476
253		Toilet Paper Holder	3	ea	62.50	0.00	86.25	148.75	187.50	0.00	258.75	446
254		Seat Cover Dispenser	3	ea	75.00	0.00	101.47	176.47	225.00	0.00	304.41	529
255		Coat Hook	3	ea	12.50	0.00	69.00	81.50	37.50	0.00	207.00	245
256		42" grab bars	6	ea	112.50	0.00	115.00	227.50	675.00	0.00	690.00	1,365
257		Hand dryer	0	ea	500.00	0.00	287.50	787.50	0.00	0.00	0.00	0
258												
259								Totals	4,125.00	0.00	2,542.51	6,668
260												
261												
262												
263												
264												
265												
266	Div 12.1	Description FURNISHINGS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
267					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
268												
269		Window Shades Manual	19	ea	187.50	0.00	115.00	302.50	3,562.50	0.00	2,185.00	5,748
270												
271								Totals	3,562.50	0.00	2,185.00	5,748
272												
273												
274												
275	Div 15.2	Description PLUMBING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
276					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
277												
278	rough	Underground plumbing: sanitary	0	sf	1.00	0.03	0.39	1.42	0.00	0.00	0.00	0
279	rough	Water Closets ADA	3	ea	0.00	75.00	975.00	1,050.00	0.00	225.00	2,925.00	3,150
280	rough	Lavatory ADA	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00	2,100
281	rough	Urinal ADA	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00	2,100
282	rough	Hot Water Tank / storage	1	ea	1,037.50	50.00	650.00	1,737.50	1,037.50	50.00	650.00	1,738
283	finish	Water Closets ADA	3	ea	262.50	37.50	487.50	787.50	787.50	112.50	1,462.50	2,363
284	finish	Urinal	2	ea	40.00	37.50	487.50	565.00	80.00	75.00	975.00	1,130
285	finish	Final Turn Over, Flushing , Testing, Tags.	3,900	sf	0.13	0.00	0.33	0.45	487.50	0.00	1,267.50	1,755
286												
287								Totals	2,472.50	837.50	12,155.00	15,465
288												
289												
290												

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291												
292	Div 15.3	Description HVAC	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
293					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
294												
295	Rough	Ductwork supply and returns	0	sf	3.94	0.00	3.25	7.19	0.00	0.00	0.00	0
296	Rough	VAV Boxes	0	ea	45.00	0.00	195.00	240.00	0.00	0.00	0.00	0
297	Rough	Kitchen Fans (supplied by others)	0	ea	120.00	0.00	650.00	770.00	0.00	0.00	0.00	0
298	Rough	Refrigerant piping	0	sf	1.13	0.00	0.49	1.61	0.00	0.00	0.00	0
299	Rough	Controls/ wiring	0	sf	0.31	0.00	0.49	0.80	0.00	0.00	0.00	0
300	Insulation	Insulated cw and hot water to piping	0	sf	0.50	0.00	0.56	1.06	0.00	0.00	0.00	0
301	Insulation	Insulated foil / vinyl faced ductwork	0	sf	0.63	0.00	0.98	1.61	0.00	0.00	0.00	0
302	Finish	Ductwork supply and returns Diffusers	0	ea	22.50	0.00	65.00	87.50	0.00	0.00	0.00	0
303	Finish	Ductwork supply and returns Diffusers	0	ea	22.50	0.00	65.00	87.50	0.00	0.00	0.00	0
304	Finish	VAV Boxes	0	ea	750.00	0.00	975.00	1,725.00	0.00	0.00	0.00	0
305	Finish	Roof Top Units A/C / FHA	0	Ton	750.00	0.00	195.00	945.00	0.00	0.00	0.00	0
306	Finish	Energy Recovery Wheel	0	ea	750.00	0.00	975.00	1,725.00	0.00	0.00	0.00	0
307	Finish	Bathroom Fans	0	ea	22.50	0.00	487.50	510.00	0.00	0.00	0.00	0
308	Finish	Controls	0	sf	1.13	0.00	0.39	1.52	0.00	0.00	0.00	0
309	Finish	Testing and Balancing	0	sf	0.63	0.00	0.65	1.28	0.00	0.00	0.00	0
310												
311								Totals	0.00	0.00	0.00	0
312												
313												
314												
315												
316	Div 16.1	Description ELECTRICAL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
317					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
318												
323	Rough	Light Fixtures	40	ea	37.50	0.00	243.75	281.25	1,500.00	0.00	9,750.00	11,250
324	Rough	Outlets	10	ea	37.50	0.00	139.29	176.79	375.00	0.00	1,392.86	1,768
325	Rough	Switches; Single Poles, 3ways	2	ea	37.50	0.00	139.29	176.79	75.00	0.00	278.57	354
326	Rough	Occupancy Sensor Switches; wall, ceiling	10	ea	37.50	0.00	139.29	176.79	375.00	0.00	1,392.86	1,768
327	Rough	Life Safety	3,900	sf	0.88	0.00	0.65	1.53	3,412.50	0.00	2,535.00	5,948
328	Finish	Light Fixtures	40	ea	375.00	0.00	243.75	618.75	15,000.00	0.00	9,750.00	24,750
329	Finish	Outlets	10	ea	6.25	0.00	139.29	145.54	62.50	0.00	1,392.86	1,455
330	Finish	Switches; Single Poles, 3ways	2	ea	6.25	0.00	139.29	145.54	12.50	0.00	278.57	291
331	Finish	Occupancy Sensor Switches; wall, ceiling	10	ea	18.75	0.00	139.29	158.04	187.50	0.00	1,392.86	1,580
332	Finish	Life Safety	3,900	sf	1.13	0.00	0.78	1.91	4,387.50	0.00	3,042.00	7,430
333	Finish	Misc Electrical, etc	3,900	sf	0.06	0.00	0.39	0.45	243.75	0.00	1,521.00	1,765
334												
335								Totals	25,631.25	0.00	32,726.57	58,358
336												
337												
338												

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We Suggest the owner carries 10% Bid Contingency and 5% Potential Changes In Work Contingency, added to the Total Project Cost (TPC).

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Project: <i>Millville Town Hall</i> <i>Millville, Massachusetts</i> Firm: Simon & Associates Co., Inc. 849 East 3rd St, Boston, MA 02127 Cell 617 650 5438 scott.simonassociates@gmail.com	Project No. <i>RENOVATION EXISITING TOWN HALL</i> Second Floor Partial Gut Renovations Architect: Kleinfelder Prepared by: S.Simon Chief Estimator
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Item	Detailed Summary of probable costs	Amounts					SF Cost		3,185.00	SF	
1											
2	Div 1.1 Mobilization	4,738					1.49				
3	Div 2.1a Environmental, soil abatement	0			Cost Not Carried Here		0.00				
4	Div 2.1b DEMOLITION	31,844					10.00				
5	Div 2.3 EARTHWORK	0					0.00				
6	Div 3.1 CONCRETE	1,141					0.36				
7	Div 6.1 ROUGH CARPENTRY	85,821					26.95				
8	Div 6.2 FINISH CARPENTRY	4,188					1.32				
9	Div 6.3 ARCHITECTURAL WOODWORK	11,295					3.55				
10	Div 7.1 WATERPROOFING, SEALANTS	4,536					1.42				
11	Div 7.2 INSULATION	12,001					3.77				
12	Div 8.1 DOORS & FRAMES	46,338					14.55				
13	Div 8.2 HARDWARE	21,951					6.89				
14	Div 8.3 GLASS	6,806					2.14				
15	Div 9.1 DRYWALL	70,919					22.27				
16	Div 9.2 TILE	14,009					4.40				
17	Div 9.4 RESLIENT	16,973					5.33				
18	Div 9.5 ACOUSTICAL	25,455					7.99				
19	Div 9.6 PAINTING	24,351					7.65				
20	Div 10.1 SPECIALTIES	8,453					2.65				
21	Div 12.1 FURNISHINGS	6,958					2.18				
22	Div 15.1 SPRINKLER	0			Cost Not Carried Here		0.00				
23	Div 15.2 PLUMBING	21,018					6.60				
24	Div 15.3 HVAC	42,242					13.26				
25	Div 16.1 ELECTRICAL	179,910					56.49				
26											
27	SUB TOTAL (Trade Costs)	\$ 640,945					201.24				
28											
29	Div 1 GENERAL CONDITIONS / SUPERVISION	\$ 185,228		12.0%					-		
30	FEE	\$ 38,457		6.0%							
31	Building Permit	\$ 6,409		1.0%							
32	BOND	\$ 7,691		1.2%							
33	Estimators 's CONTINGENCY (Market Conditions)	\$ 96,142		15.0%	+ 5% FOR HIDDEN CONDITIONS						
34							SF Cost				
35	TOTAL PROJECT COST (TPC)	\$ 974,872					306.08	Per SF			
36											
37											

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38												
39												
40		<u>Scopes / Description of Work</u>										
41												
42												
43												
44	Div 1.1	Description MOBILIZATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
45					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
46												
47		Mobilization: Site Trailer, Site Fence, Temp Water,Electrical,Sanitary	3,185	sf	0.63	0.00	0.86	1.49	1,990.63	0.00	2,747.06	4,738
48												
49								Totals	1,990.63	0.00	2,747.06	4,738
50												
51												
52												
53												
54	Div 2.1b	Description DEMOLITION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
55					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
56												
57		Selective Demolition	3,185	sf	0.75	0.20	6.90	7.85	2,388.75	637.00	21,976.50	25,002
58		Dumpsters costs for selective demolition only	9	ea	725.00	0.00	0.00	725.00	6,841.85	0.00	0.00	6,842
59												
60								Totals	9,230.60	637.00	21,976.50	31,844
61												
62												
63												
64												
65												
66												
67	Div 6.1	Description ROUGH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
68					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
69												
70		Rough Carpentry: Reframe fire damaged area and Roof	1,314	sf	43.75	0.00	21.56	65.31	57,487.50	0.00	28,333.13	85,821
71												
72								Totals	57,487.50	0.00	28,333.13	85,821
73												
74												
75												
76	Div 6.2	Description FINISH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
77					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
78												
79		Finish Carpentry	3,185	sf	0.63	0.00	0.69	1.32	1,990.63	0.00	2,197.65	4,188
80												
81								Totals	1,990.63	0.00	2,197.65	4,188
82												
83												
86												
87												
88	Div 6.3	Description ARCHITECTURAL WOODWORK	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
89					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
90												
91		Cabinetry / Counters	50	lf	201.25	0.00	24.64	225.89	10,062.50	0.00	1,232.14	11,295
92												
93								Totals	10,062.50	0.00	1,232.14	11,295
94												
95												

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96												
97												
98												
99												
100	Div 7.1	Description WATERPROOFING, Sealants	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
101					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
102												
103		Fire stopping all penetrations	3,185	sf	0.19	0.00	0.43	0.62	597.19	0.00	1,373.53	1,971
104												
105												
106		Interior Caulking	3,185	sf	0.31	0.00	0.49	0.81	995.31	0.00	1,569.75	2,565
107												
108												
109								Totals	1,592.50	0.00	2,943.28	4,536
110												
111												
112												
113												
114												
115	Div 7.2	Description INSULATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
116					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
117												
118		Foundation slab and walls	0	sf	1.69	0.00	2.16	3.84	0.00	0.00	0.00	0
119		Insulation interior walls / 50%	2,700	sf	0.39	0.00	1.71	2.11	1,063.97	0.00	4,620.54	5,685
120		Insulation walls perimeter	3,000	sf	0.39	0.00	1.71	2.11	1,182.19	0.00	5,133.93	6,316
121												
122								Totals	2,246.16	0.00	9,754.46	12,001
123												
124												
125												
126												
127												
128	Div 8.1	Description DOORS & FRAMES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
129					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
130												
131		Exterior Doors single hung	0	ea	1,237.50	0.00	191.67	1,429.17	0.00	0.00	0.00	0
132		Exterior Doors Double hung	0	pr	2,200.00	0.00	246.43	2,446.43	0.00	0.00	0.00	0
133		Interior Doors Single Hung	27	ea	1,237.50	0.00	191.67	1,429.17	33,412.50	0.00	5,175.00	38,588
134		Subtotal	27	ea								
135		Door sidelight , Vision Panels	6	ea	1,100.00	0.00	191.67	1,292	6,600.00	0.00	1,150.00	7,750
136												
137								Totals	40,012.50	0.00	6,325.00	46,338
138												
139												
140												
141												
142												
143	Div 8.2	Description HARDWARE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
144					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
145												
146		Door Hardware	27	ea	568.75	0.00	123.21	692	15,356.25	0.00	3,326.79	18,683
147		Door Hardware with Panic	4	ea	693.75	0.00	123.21	817	2,775.00	0.00	492.86	3,268
148												
149								Totals	18,131.25	0.00	3,819.64	21,951
150												
151												
152												

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153												
154												
155												
156	Div 8.3	Description GLASS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
157					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
158												
159		Interior Glazing	126	sf	43.75	0.00	10.27	54.02	5,512.50	0.00	1,293.75	6,806
160												
161								Totals	5,512.50	0.00	1,293.75	6,806
162												
163												
164												
165												
166	Div 9.1	Description DRYWALL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
167					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
168												
169		Metal Stud Exterior Wall 3-5/8	3,000	sf	2.07	0.00	2.03	4.10	6,210.00	0.00	6,093.75	12,304
170		Metal Stud Interior Wall 3-5/8	5,400	sf	2.07	0.00	2.03	4.10	11,178.00	0.00	10,968.75	22,147
171		Drywall Board Install Exterior Walls	3,000	sf	0.58	0.00	0.89	1.47	1,751.95	0.00	2,662.04	4,414
172		Drywall Board Finish Exterior Walls (Taping Level 4)	3,000	sf	0.07	0.00	1.00	1.07	201.25	0.00	2,994.79	3,196
173		Drywall Board Install Interior Walls	10,800	sf	0.58	0.00	0.89	1.47	6,307.03	0.00	9,583.33	15,890
174		Drywall Board Finish Interior Walls (Taping Level 4)	10,800	sf	0.07	0.00	1.00	1.07	724.50	0.00	10,781.25	11,506
175		Blocking In Metal Stud walls only	200	lf	3.00	0.00	4.31	7.31	600.00	0.00	862.50	1,463
176												
177												
178								Totals	26,972.73	0.00	43,946.41	70,919
179												
180												
181												
182												
183												
184												
185												
186	Div 9.2	Description TILE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
187					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
188												
189		Bathroom Floors	100	sf	3.38	0.00	24.64	28.02	337.50	0.00	2,464.29	2,802
190		Bathroom Walls /Wainscot	400	sf	3.38	0.00	24.64	28.02	1,350.00	0.00	9,857.14	11,207
191		Kitchen Tile Floors	0	sf	3.38	0.00	24.64	28.02	0.00	0.00	0.00	0
192												
193								Totals	1,687.50	0.00	12,321.43	14,009
194												
195												
196												
197												
198												
199	Div 9.4	Description RESILIENT	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
200					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
201												
202		RRB Flooring and Rubber Base	3,075	sf	2.34	0.00	2.88	5.22	7,207.03	0.00	8,840.63	16,048
203		Entry MAT Recessed	1	ea	781.25	0.00	143.75	925.00	781.25	0.00	143.75	925
204												
205								Totals	7,988.28	0.00	8,984.38	16,973
206												
207												

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208												
209												
210	Div 9.5	Description ACOUSTICAL	Quantity	Unit	Unit Cost Material	Unit Cost Equipment	Unit Cost Labor	Total Unit Cost	Total Cost Material	Total Cost Equipment	Total Cost Labor	Total Item Cost
211												
212												
213		Acoustical ceiling Grid System 100%	3,185	sf	1.00	0.00	2.99	3.99	3,185.00	0.00	9,538.41	12,723
215												
216												
217		Acoustical Ceiling Tiles	3,185	sf	2.50	0.00	1.50	4.00	7,962.50	0.00	4,769.21	12,732
218												
219								Totals	11,147.50	0.00	14,307.62	25,455
220												
221												
222												
223												
224												
225												
226	Div 9.6	Description PAINTING	Quantity	Unit	Unit Cost Material	Unit Cost Equipment	Unit Cost Labor	Total Unit Cost	Total Cost Material	Total Cost Equipment	Total Cost Labor	Total Item Cost
227												
228												
229		Walls GYP p.w.	3,000	sf	0.50	0.00	0.96	1.46	1,500.00	0.00	2,875.00	4,375
230		Walls GYP i.w.	10,800	sf	0.50	0.00	0.96	1.46	5,400.00	0.00	10,350.00	15,750
231		Doors	27	ea	25.00	0.00	71.88	96.88	675.00	0.00	1,940.63	2,616
232		Misc. Other Painting	2,000	sf	0.31	0.00	0.49	0.81	625.00	0.00	985.71	1,611
233												
234								Totals	8,200.00	0.00	16,151.34	24,351
235												
236												
237												
238												
239												
240												
241	Div 10.1	Description SPECIALTIES	Quantity	Unit	Unit Cost Material	Unit Cost Equipment	Unit Cost Labor	Total Unit Cost	Total Cost Material	Total Cost Equipment	Total Cost Labor	Total Item Cost
242												
243												
244		Display Boards	1	ea	375.00	0.00	172.50	547.50	375.00	0.00	172.50	548
245		Louvers and Vents	1	ea	500.00	0.00	345.00	845.00	500.00	0.00	345.00	845
246		Fire Extinguishers	1	ls	500.00	0.00	86.25	586.25	500.00	0.00	86.25	586
247		Toilet Accessories: Mirrors	2	ea	87.50	0.00	115.00	202.50	175.00	0.00	230.00	405
248		Waste Receptacles	2	ea	187.50	0.00	101.47	288.97	375.00	0.00	202.94	578
249		Paper Towel Dispenser	2	ea	350.00	0.00	101.47	451.47	700.00	0.00	202.94	903
250		Sanitary Napkin Disposal	1	ea	375.00	0.00	101.47	476.47	375.00	0.00	101.47	476
251		Toilet Paper Holder	4	ea	62.50	0.00	86.25	148.75	250.00	0.00	345.00	595
252		Seat Cover Dispenser	4	ea	75.00	0.00	101.47	176.47	300.00	0.00	405.88	706
253		Coat Hook	4	ea	12.50	0.00	69.00	81.50	50.00	0.00	276.00	326
254		42" grab bars	4	ea	112.50	0.00	115.00	227.50	450.00	0.00	460.00	910
255		Hand dryer	2	ea	500.00	0.00	287.50	787.50	1,000.00	0.00	575.00	1,575
256												
257								Totals	5,050.00	0.00	3,402.99	8,453
258												
259												
260												
261												
262												
263												

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264											
265											
266	Div 12.1	Description FURNISHINGS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
267					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
268											
269		Window Shades Manual	23	ea	187.50	0.00	115.00	302.50	4,312.50	0.00	2,645.00
270											
271								Totals	4,312.50	0.00	2,645.00
272											
273											
274											
275	Div 15.2	Description PLUMBING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
276					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
277											
278	rough	Underground plumbing: sanitary	3,185	sf	1.00	0.03	0.39	1.42	3,185.00	95.55	1,242.15
279	rough	Water Closets ADA	4	ea	0.00	75.00	975.00	1,050.00	0.00	300.00	3,900.00
280	rough	Lavatory ADA	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00
281	rough	Urinal ADA	1	ea	0.00	75.00	975.00	1,050.00	0.00	75.00	975.00
282	rough	Hot Water Tank / storage	1	ea	1,037.50	50.00	650.00	1,737.50	1,037.50	50.00	650.00
283	Insulation	Insulation 3/4 " Copper service jacket	90	lf	2.50	0.00	6.50	9.00	225.00	0.00	585.00
284	Insulation	Insulation 1/2" Copper service jacket	120	lf	2.50	0.00	4.88	7.38	300.00	0.00	585.00
285	finish	Water Closets ADA	4	ea	262.50	37.50	487.50	787.50	1,050.00	150.00	1,950.00
286	finish	Urinal	1	ea	40.00	37.50	487.50	565.00	40.00	37.50	487.50
287	finish	Final Turn Over, Flushing , Testing, Tags.	3,185	sf	0.13	0.00	0.33	0.45	398.13	0.00	1,035.13
288											
289								Totals	6,275.63	895.55	13,847.28
290											
291											
292											
293											
294	Div 15.3	Description HVAC	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
295					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
296											
297	Rough	Ductwork supply and returns	3,185	sf	3.94	0.00	3.25	7.19	12,540.94	0.00	10,351.25
298	Rough	VAV Boxes	2	ea	45.00	0.00	195.00	240.00	81.90	0.00	354.90
299	Rough	Kitchen Fans (supplied by others)	1	ea	120.00	0.00	650.00	770.00	120.00	0.00	650.00
300	Rough	Refrigerant piping	3,185	sf	1.13	0.00	0.49	1.61	3,583.13	0.00	1,552.69
301	Rough	Controls/ wiring	3,185	sf	0.31	0.00	0.49	0.80	995.31	0.00	1,552.69
302	Insulation	Insulated cw and hot water to piping	3,185	sf	0.50	0.00	0.56	1.06	1,592.50	0.00	1,774.50
303	Insulation	Insulated foil / vinyl faced ductwork	1,828	sf	0.63	0.00	0.98	1.61	1,151.91	0.00	1,782.72
304	Finish	Ductwork supply and returns Diffusers	16	ea	22.50	0.00	65.00	87.50	358.31	0.00	1,035.13
305	Finish	Ductwork supply and returns Diffusers	16	ea	22.50	0.00	65.00	87.50	358.31	0.00	1,035.13
306	Finish	VAV Boxes	2	ea	750.00	0.00	975.00	1,725.00	1,365.00	0.00	1,774.50
307	Finish	Roof Top Units A/C / FHA	9	Ton	750.00	0.00	195.00	945.00	6,825.00	0.00	1,774.50
308	Finish	Energy Recovery Wheel	1	ea	750.00	0.00	975.00	1,725.00	750.00	0.00	975.00
309	Finish	Bathroom Fans	1	ea	22.50	0.00	487.50	510.00	22.50	0.00	487.50
310	Finish	Controls	3,185	sf	1.13	0.00	0.39	1.52	3,583.13	0.00	1,242.15
311	Finish	Testing and Balancing	3,185	sf	0.63	0.00	0.65	1.28	1,990.63	0.00	2,070.25
312											
313								Totals	22,938.02	0.00	19,303.79
314											
315											

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316											
317											
318	Div 16.1	Description ELECTRICAL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
319					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
320											
321	Rough	Electrical under SOG	0	sf	0.63	0.00	0.78	1.41	0.00	0.00	0.00
322											
323											
324	Rough	Main Service, Panels, Distribution	398	Amp	7.50	0.00	9.75	17.25	2,985.94	0.00	3,881.72
325	Rough	Light Fixtures	16	ea	37.50	0.00	243.75	281.25	597.19	0.00	3,881.72
326	Rough	Outlets	65	ea	37.50	0.00	139.29	176.79	2,450.00	0.00	9,100.00
327	Rough	Switches; Single Poles, 3ways	24	ea	37.50	0.00	139.29	176.79	890.63	0.00	3,308.04
328	Rough	Occupancy Sensor Switches; wall, ceiling	23	ea	37.50	0.00	139.29	176.79	862.50	0.00	3,203.57
329	Rough	Telephone / CATV / Data	23	ea	3.75	0.00	139.29	143.04	86.25	0.00	3,203.57
330	Rough	Fans/Motors/Equipment	1	ea	156.25	0.00	487.50	643.75	156.25	0.00	487.50
331	Rough	Hand Dryers	2	ea	156.25	0.00	325.00	481.25	312.50	0.00	650.00
332	Rough	VAV Boxes (supplied by others)	9	ea	75.00	0.00	650.00	725.00	682.50	0.00	5,915.00
333	Rough	Water Coolers (supplied by others)	1	ea	156.25	0.00	487.50	643.75	99.53	0.00	310.54
334	Rough	Lighting Protection	252	lf	93.75	0.00	19.50	113.25	23,625.00	0.00	4,914.00
335	Rough	Make Up Air Unit	1	ea	93.75	0.00	650.00	743.75	93.75	0.00	650.00
337	Rough	Bathroom Exhausts	2	ea	93.75	0.00	243.75	337.50	187.50	0.00	487.50
338	Rough	Dishwasher (supplied by others)	0	ea	93.75	0.00	243.75	337.50	0.00	0.00	0.00
339	Rough	Electric Hot Water Heater (supplied by others)	1	ea	93.75	0.00	487.50	581.25	93.75	0.00	487.50
340	Rough	Life Safety	3,185	sf	0.88	0.00	0.65	1.53	2,786.88	0.00	2,070.25
341	Rough	Temps.	3,185	sf	0.25	0.00	0.33	0.58	796.25	0.00	1,035.13
342	Rough	Misc Electrical, etc	3,185	sf	0.63	0.00	0.39	1.02	1,990.63	0.00	1,242.15
343	Finish	Main Service, Panels, Distribution	398	Amp	3.75	0.00	9.75	13.50	1,492.97	0.00	3,881.72
344	Finish	Light Fixtures	16	ea	375.00	0.00	243.75	618.75	5,971.88	0.00	3,881.72
345	Finish	Outlets	65	ea	6.25	0.00	139.29	145.54	408.33	0.00	9,100.00
346	Finish	Switches; Single Poles, 3ways	24	ea	6.25	0.00	139.29	145.54	148.44	0.00	3,308.04
347	Finish	Occupancy Sensor Switches; wall, ceiling	23	ea	18.75	0.00	139.29	158.04	431.25	0.00	3,203.57
348	Finish	Telephone / CATV / Data	23	ea	18.75	0.00	139.29	158.04	431.25	0.00	3,203.57
349	Finish	Fans/Motors/Equipment	1	ea	0.00	0.00	487.50	487.50	0.00	0.00	487.50
350	Finish	Hand Dryers	2	ea	500.00	0.00	325.00	825.00	1,000.00	0.00	650.00
351	Finish	VAV Boxes (supplied by others)	9	ea	25.00	0.00	650.00	675.00	227.50	0.00	5,915.00
352	Finish	Water Coolers (supplied by others)	1	ea	50.00	0.00	487.50	537.50	31.85	0.00	310.54
353	Finish	Lighting Protection	252	lf	1.25	0.00	19.50	20.75	315.00	0.00	4,914.00
354	Finish	Make Up Air Unit	1	ea	0.00	0.00	650.00	650.00	0.00	0.00	650.00
355	Finish	Kitchen Vents	0	ea	62.50	0.00	325.00	387.50	0.00	0.00	0.00
356	Finish	Bathroom Exhausts	2	ea	156.25	0.00	243.75	400.00	312.50	0.00	487.50
358	Finish	Electric Hot Water Heater (supplied by others)	1	ea	0.00	0.00	487.50	487.50	0.00	0.00	487.50
359	Finish	Life Safety	3,185	sf	1.13	0.00	0.78	1.91	3,583.13	0.00	2,484.30
360	Finish	Misc Electrical, etc	3,185	sf	0.06	0.00	0.39	0.45	199.06	0.00	1,242.15
361											
362								Totals	57,849.67	0.00	122,060.06
363											
364											

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We Suggest the owner carries 10% Bid Contingency and 5% Potential Changes In Work Contingency, added to the Total Project Cost (TPC).

Project: <i>Millville Town Hall</i> <i>Millville, Massachusetts</i> Firm: Simon & Associates Co., Inc. 849 East 3rd St, Boston, MA 02127 Cell 617 650 5438 scott.simonassociates@gmail.com	Project No. <i>RENOVATION EXISITING TOWN HALL</i> Exterior and Roof Work Architect: Kleinfelder Prepared by: S.Simon Chief Estimator
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Item	Detailed Summary of probable costs	Amounts					SF Cost		3,185.00	SF	
1											
2	Div 1.1 Mobilization	2,975					0.93				
3	Div 2.1a Environmental, soil abatement	0			Cost Not Carried Here		0.00				
8	Div 4.1 MASONRY	83,640					26.26				
3	Div 6.1 ROUGH CARPENTRY	8,888					2.79				
4	Div 6.2 FINISH CARPENTRY	12,496					3.92				
5	Div 7.3 ROOFING & SIDING	51,989					16.32				
10	Div 8.3 GLASS	100,000					31.40				
7											
8	SUB TOTAL (Trade Costs)	\$ 259,987					81.63				
9											
10	Div 1 GENERAL CONDITIONS / SUPERVISION	\$ 93,986		12.0%							
11	FEE	\$ 15,599		6.0%							
12	Building Permit	\$ 2,600		1.0%							
13	BOND	\$ 3,120		1.2%							
14	Estimators 's CONTINGENCY (Market Conditions)	\$ 25,999		10.0%							
15							SF Cost				
16	TOTAL PROJECT COST (TPC)	\$ 401,291					125.99	Per SF			
17											
18											
19											
20											
21											
22											
23											
24											
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33												
34												
35		<u>Scopes / Description of Work</u>										
36												
37												
38												
39	Div 1.1	Description MOBILIZATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
40					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
41												
42		Mobilization: Site Trailer, Site Fence, Temp Water,Electrical,Sanitary	2,000	sf	0.63	0.00	0.86	1.49	1,250.00	0.00	1,725.00	2,975
43												
44								Totals	1,250.00	0.00	1,725.00	2,975
45												
46												
47												
48												
49	Div 4.1	Description MASONRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
50					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
51												
52		Clean Exterior of buildings, light power wash, no chemicals	9,000	sf	0.15	0.24	0.75	1.14	1,350.00	2,152.17	6,750.00	10,252
56		Masonry Repair	1	ls	21,000.00	0.00	21,000.00	42,000.00	21,000.00	0.00	21,000.00	42,000
53		Seal all open joints pointing, repair foundation Percentage 30%	2,700	sf	1.25	1.75	8.63	11.63	3,375.00	4,725.00	23,287.50	31,388
54												
55								Totals	25,725.00	6,877.17	51,037.50	83,640
56												
57												
58												
59												
60												
61												
62												
63												
64	Div 6.1	Description ROUGH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
65					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
66												
67		Rough Carpentry: Window Frame Work, Hidden Conditions	45	ea	25.00	0.00	172.50	197.50	1,125.00	0.00	7,762.50	8,888
68												
69								Totals	1,125.00	0.00	7,762.50	8,888
70												
71												
72												
73												
74												
75												
76												
77	Div 6.2	Description FINISH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
78					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
79												
80		Finish Carpentry; window Frame Work, Hidden Conditions	45	ea	31.25	0.00	246.43	277.68	1,406.25	0.00	11,089.29	12,496
81												
82								Totals	1,406.25	0.00	11,089.29	12,496
83												
84												
85												

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86												
87												
88												
89	Div 7.3	Description ROOFING & SIDING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
90					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
91												
92		Asphalt Shingles Strip Roof	5,265	sf	0.05	0.10	1.73	1.88	263.25	526.50	9,082.13	9,872
93		Repair water damaged wood 20%	1,053	sf	1.88	0.00	2.25	4.12	1,974.38	0.00	2,365.14	4,340
94		Asphalt shingles	5,265	sf	1.88	0.20	3.45	5.53	9,871.88	1,053.00	18,164.25	29,089
95		Aluminum Flashing & misc	300	lf	3.13	0.00	4.31	7.44	937.50	0.00	1,293.75	2,231
96		Ridge Vents	100	lf	1.25	0.00	4.31	5.56	125.00	0.00	431.25	556
97		Remove Gutters	300	lf	0.13	0.38	2.16	2.66	37.50	112.50	646.88	797
98		Remove downspouts	192	lf	0.13	0.38	2.16	2.66	24.00	72.00	414.00	510
99		Gutters	300	lf	5.63	0.60	3.45	9.68	1,687.50	180.00	1,035.00	2,903
100		Downspouts RWL	192	lf	3.75	0.75	4.31	8.81	720.00	144.00	828.00	1,692
101												
102								Totals	15,641.00	2,088.00	34,260.39	51,989
103												
104												
105			0									
106	Div 8.3	Description GLASS	0	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
107			0		Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
108			0									
109		Perimeter exterior window units	1	ls	70,000.00	0.00	30,000.00	100,000.00	70,000.00	0.00	30,000.00	100,000
110			0									
111			0					Totals	70,000.00	0.00	30,000.00	100,000
112			0									

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Project: <i>Millville Town Hall</i> <i>Millville, Massachusetts</i> Firm: <i>Simon & Associates Co., Inc.</i> <i>849 East 3rd St, Boston, MA 02127</i> Cell <i>617 650 5438</i> <i>scott.simonassociates@gmail.com</i>	Project No. <i>NEW BUILDING OPTION</i> Architect: <i>Kleinfelder</i> Prepared by: <i>S. Simon</i> <i>Chief Estimator</i>
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Item	Detailed Summary of probable costs	Amounts				SF Cost		11,040.00	SF	
1										
2	Div 1.1 Mobilization	16,422				1.49				
3	Div 2.3 EARTHWORK	141,603				12.83				
5	Div 2.3 Ledge Allowance	50,000				4.53				
4	Div 2.5 UTILITIES	216,545				19.61				
5	Div 2.6 PAVINGS AND WALKS	108,807				9.86				
6	Div 2.7 SITE IMPROVEMENTS	16,367				1.48				
7	Div 2.8 LANDSCAPING	60,615				5.49				
8	Div 3.1 CONCRETE	168,356				15.25				
9	Div 3.2 PRECAST CONCRETE	74,784				6.77				
10	Div 4.1 MASONRY	767,146				69.49				
11	Div 5.2 Misc. METALS	34,433				3.12				
12	Div 6.1 ROUGH CARPENTRY	9,798				0.89				
13	Div 6.2 FINISH CARPENTRY	14,518				1.32				
14	Div 6.3 ARCHITECTURAL WOODWORK	6,777				0.61				
15	Div 7.1 WATERPROOFING, SEALANTS	33,797				3.06				
16	Div 7.2 INSULATION	68,741				6.23				
17	Div 7.3 ROOFING & SIDING	134,321				12.17				
18	Div 8.1 DOORS & FRAMES	106,884				9.68				
19	Div 8.2 HARDWARE	39,750				3.60				
20	Div 8.3 GLASS	87,688				7.94				
21	Div 9.1 DRYWALL	225,313				20.41				
22	Div 9.2 TILE	39,785				3.60				
23	Div 9.3 CARPET	22,604				2.05				
24	Div 9.4 RESILIENT	34,809				3.15				
25	Div 9.5 ACOUSTICAL	61,764				5.59				
26	Div 9.6 PAINTING	72,157				6.54				
27	Div 10.1 SPECIALTIES	26,257				2.38				
28	Div 11.1 EQUIPMENT	2,819				0.26				
29	Div 12.1 FURNISHINGS	12,261				1.11				
30	Div 14.1 ELEVATORS	89,450				8.10				
31	Div 15.1 SPRINKLER	0		Not Carried		0.00				
32	Div 15.2 PLUMBING	87,101				7.89				
33	Div 15.3 HVAC	192,286				17.42				
34	Div 16.1 ELECTRICAL	350,269				31.73				
35	Div 16.1 ELECTRICAL: Generator	0				0.00				
36										
37	SUB TOTAL (Trade Costs)	\$ 3,374,227				305.64				
38										
39	Div 1 GENERAL CONDITIONS / SUPERVISION	\$ 452,087		12.0%						
40	FEE	\$ 202,454		6.0%						
41	Building Permit	\$ 33,742		1.0%						
42	BOND	\$ 40,491		1.2%						
43	Estimators 's CONTINGENCY (Market Conditions)	\$ 337,423		10.0%						
44						SF Cost				
45	TOTAL PROJECT COST (TPC)	\$ 4,440,423				402.21 Per SF				

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46												
47												
48												
49												
50		<u>Scopes / Description of Work</u>										
51												
52												
53												
54	Div 1.1	Description MOBILIZATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
55					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
56												
57		Mobilization: Site Trailer, Site Fence, Temp Water,Electrical,Sanitary	11,040	sf	0.63	0.00	0.86	1.49	6,900.00	0.00	9,522.00	16,422
58												
59								Totals	6,900.00	0.00	9,522.00	16,422
60												
61												
62												
63												
64												
65	Div 2.3	Description EARTHWORK	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
66					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
67												
68		Site Preparation: protection	60,720	sf	0.25	0.00	0.29	0.54	15,180.00	0.00	17,457.00	32,637
69		Hay Bales	912	lf	2.50	0.00	4.31	6.81	2,280.00	0.00	3,933.00	6,213
70		Filter Fabric	912	lf	2.50	0.00	4.93	7.43	2,280.00	0.00	4,494.86	6,775
71		Protect existing catch basins	1	ls	375.00	0.00	345.00	720.00	375.00	0.00	345.00	720
72		Protect existing utilities	1	ls	625.00	0.00	345.00	970.00	625.00	0.00	345.00	970
73		Temp. Site Fence	365	lf	18.75	0.00	5.39	24.14	6,840.00	0.00	1,966.50	8,807
75		Stabilized Construction Entrance, Wheel Wash	1	ls	625.00	0.00	1,725.00	2,350.00	625.00	0.00	1,725.00	2,350
76	excavate	Clear and Grub	1.00	Ac.	0.00	7,400.00	6,900.00	14,300.00	0.00	7,400.00	6,900.00	14,300
77	excavate	Cut Site / Strip Stockpile	1,111	cy	0.00	6.41	9.21	15.63	0.00	7,122.51	10,238.60	17,361
78	excavate	Truck off excess cut site Materials	222	cy	5.00	3.13	8.98	17.11	1,111.11	694.44	1,996.53	3,802
81	excavate	Excavate for P.W. Foundation Walls (No Basement)	352	cy	0.00	6.41	9.21	15.63	0.00	2,255.46	3,242.22	5,498
82	excavate	Trucking off Site Excess Materials for P.W. Foundations	106	cy	5.00	3.65	8.98	17.63	527.78	384.84	948.35	1,861
83	excavate	Excavate for Spread Foundations	47	cy	0.00	6.41	9.21	15.63	0.00	301.95	434.05	736
84	excavate	Trucking off Site Excess Mat'ls for Spread Foundations	14	cy	5.00	3.13	8.98	17.11	70.66	44.16	126.96	242
85	excavate	Excavate for elevator pit	33	cy	0.00	6.41	9.21	15.63	0.00	213.68	307.16	521
86	excavate	Trucking off Site Excess Mat'ls for Elevator Pit	10	cy	5.00	3.13	8.98	17.11	50.00	31.25	89.84	171
87	backfill	Rough grade site	30,000	sf	0.03	0.28	0.43	0.73	750.00	8,250.00	12,937.50	21,938
88	backfill	Backfill PW foundations	246	cy	0.00	4.11	6.45	10.56	0.00	1,013.08	1,588.69	2,602
89	backfill	Backfill Spread Foundations	58	cy	0.00	4.11	6.45	10.56	0.00	240.43	377.03	617
90	backfill	Backfill Elevator pit	23	cy	0.00	4.11	6.45	10.56	0.00	95.98	150.51	246
91	backfill	Vapor Barrier under SOG	5,520	sf	0.63	0.37	0.58	1.57	3,450.00	2,024.00	3,174.00	8,648
92	backfill	Excavate and Backfill for under slab plumbing, electrical	5,520	sf	0.13	0.28	0.43	0.83	690.00	1,518.00	2,380.50	4,589
93												
94								Totals	34,854.54	31,589.76	75,158.31	141,603
95												
96												

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97												
98												
99	Div 2.5	Description UTILITIES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
100					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
101												
102		WATER										
103		Water Piping 2" Copper	60	lf	29.00	0.00	4.79	33.79	1,740.00	0.00	287.50	2,028
104		Main tap (street)	0	ea	3,125.00	0.00	1,725.00	4,850.00	0.00	0.00	0.00	0
105		Well	500	lf	25.00	12.50	14.38	51.88	12,500.00	6,250.00	7,187.50	25,938
106		Excavate for piping	69	cy	0.00	5.88	9.21	15.09	0.00	408.06	639.91	1,048
107		Backfill for piping	67	cy	0.00	4.11	6.45	10.56	0.00	274.22	430.02	704
108		Excavate for main tap (street)	46	cy	0.00	5.88	9.21	15.09	0.00	272.04	426.61	699
109		Backfill for main tap (street)	46	cy	0.00	4.11	6.45	10.56	0.00	190.43	298.63	489
110		Sand bed	3	cy	22.50	4.11	6.45	33.06	62.50	11.43	17.92	92
111		Loose excess materials on site	3	cy	0.00	4.11	6.45	10.56	0.00	11.43	17.92	29
112		SEPTIC SYSTEM										
113		Septic System Piping 4" C.I..	60	lf	3.75	0.00	5.75	9.50	225.00	0.00	345.00	570
114		Leaching Field Piping 4" pvc perf.	960	lf	1.58	0.00	5.75	7.33	1,512.00	0.00	5,520.00	7,032
114		Holding tank	1	ea	1,250.00	1,100.00	1,725.00	4,075.00	1,250.00	1,100.00	1,725.00	4,075
115		Distribution Box	1	ea	250.00	0.00	345.00	595.00	250.00	0.00	345.00	595
116		Excavate for piping	69	cy	0.00	6.41	9.21	15.63	0.00	445.16	639.91	1,085
117		Backfill for piping	67	cy	0.00	4.11	6.45	10.56	0.00	274.22	430.02	704
118		Excavate for leaching field 4' deep	444	cy	0.00	6.41	9.21	15.63	0.00	2,849.00	4,095.44	6,944
119		Back Fill Gravel Fill /Stones	444	cy	35.00	4.11	6.45	45.56	15,555.56	1,828.11	2,866.81	20,250
120		Loam	56	cy	47.50	4.11	6.45	58.06	2,638.89	228.51	358.35	3,226
121		Trucking off Site Excess Materials for Septic System	444	cy	5.00	3.65	8.98	17.63	2,222.22	1,620.37	3,993.06	7,836
122		STORM										
123		Storm Piping 6" RCP	300	lf	24.00	0.00	5.75	29.75	7,200.00	0.00	1,725.00	8,925
124		Storm Piping 8" RCP	0	lf	31.50	0.00	5.75	37.25	0.00	0.00	0.00	0
125		Storm Piping 12" RCP	0	lf	37.50	0.00	5.75	43.25	0.00	0.00	0.00	0
126		Storm Piping 15" RCP	260	lf	46.50	0.00	5.75	52.25	12,090.00	0.00	1,495.00	13,585
127		Storm Piping 18" RCP	0	lf	55.50	0.00	5.75	61.25	0.00	0.00	0.00	0
128		Storm Piping 24" RCP	0	lf	64.50	0.00	5.75	70.25	0.00	0.00	0.00	0
129		Main tap (street)	0	ea	1,250.00	0.00	1,725.00	2,975.00	0.00	0.00	0.00	0
130		Tie into storm or Reclamation System	1	ea	2,250.00	0.00	1,725.00	3,975.00	2,250.00	0.00	1,725.00	3,975
131		Infiltration Gallery	0	lf	31.25	0.00	43.13	74.38	0.00	0.00	0.00	0
132		Catch Basins	4	ea	2,250.00	0.00	1,725.00	3,975.00	9,000.00	0.00	6,900.00	15,900
133		Area Drains	0	ea	2,250.00	0.00	1,725.00	3,975.00	0.00	0.00	0.00	0
134		Excavate for piping	635	cy	0.00	6.41	9.21	15.63	0.00	4,070.51	5,851.36	9,922
135		Backfill for piping	345	cy	0.00	4.11	6.45	10.56	0.00	1,419.07	2,225.36	3,644
136		Excavate for main tap (street)&CB	0	cy	0.00	5.88	9.21	15.09	0.00	0.00	0.00	0
137		Backfill for main tap (street)	0	cy	0.00	4.11	6.45	10.56	0.00	0.00	0.00	0
138		Sand bed	0	cy	22.50	4.11	6.45	33.06	0.00	0.00	0.00	0
139		Loose excess materials on site	290	cy	0.00	4.11	6.45	10.56	0.00	1,192.84	1,870.59	3,063
140		GAS: By Propane Supplier										
141		Piping	50	lf	10.50	0.00	4.31	14.81	525.00	0.00	215.63	741
142		Propane Tanks Prep work	1	ea	625.00	0.00	862.50	1,487.50	625.00	0.00	862.50	1,488
143		Excavate for piping	58	cy	0.00	6.41	9.21	15.63	0.00	370.96	533.26	904
144		Backfill for piping	56	cy	0.00	4.11	6.45	10.56	0.00	228.51	358.35	587
145		Excavate for main tap (street)	46	cy	0.00	5.88	9.21	15.09	0.00	272.04	426.61	699
146		Backfill for main tap (street)	46	cy	0.00	6.29	9.86	16.14	0.00	291.01	456.35	747
147		Sand bed	2	cy	22.50	4.11	6.45	33.06	52.08	9.52	14.93	77
148		Loose excess materials on site	2	cy	0.00	4.11	6.45	10.56	0.00	9.52	14.93	24
149		DATA / COMMUNICATION	3									
150		Conduit Piping / 2ea	210	lf	6.75	0.00	4.93	11.68	1,417.50	0.00	1,035.00	2,453
151		Concrete duct bank	23	cy	250.00	0.00	86.25	336.25	5,833.33	0.00	2,012.50	7,846
152		Handhold 18"x18"	3	ea	500.00	0.00	17.25	517.25	1,500.00	0.00	51.75	1,552
153		Feeds / 2ea	210	lf	2.50	0.00	17.25	19.75	525.00	0.00	3,622.50	4,148

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154	Excavate for conduit piping & handhold	243	cy	0.00	6.41	9.21	15.63	0.00	1,558.05	2,239.69	3,798
155	Backfill for conduit piping, on site materials	240	cy	0.00	4.11	6.45	10.56	0.00	987.41	1,548.44	2,536
156	Sand bed	10	cy	22.50	4.11	6.45	33.06	218.75	39.99	62.71	321
157	Loose excess materials on site	10	cy	0.00	4.11	6.45	10.56	0.00	39.99	62.71	103
158	ELECTRICAL	3									
159	Conduit Piping	210	lf	8.70	0.00	4.93	13.63	1,827.00	0.00	1,035.00	2,862
160	Conduit Piping	0	lf	8.70	0.00	4.93	13.63	0.00	0.00	0.00	0
161	Concrete duct bank	23	cy	250.00	0.00	86.25	336.25	5,833.33	0.00	2,012.50	7,846
162	Transformer	1	ea	18,750.00	0.00	1,725.00	20,475.00	18,750.00	0.00	1,725.00	20,475
163	Feeds	210	lf	2.50	0.00	17.25	19.75	525.00	0.00	3,622.50	4,148
164	Feeds	210	lf	2.50	0.00	17.25	19.75	525.00	0.00	3,622.50	4,148
165	Excavate for conduit piping & handhold	243	cy	0.00	6.41	9.21	15.63	0.00	1,558.05	2,239.69	3,798
166	Backfill for conduit piping, on site materials	233	cy	0.00	4.11	6.45	10.56	0.00	959.76	1,505.07	2,465
167	Sand bed	10	cy	22.50	4.11	6.45	33.06	218.75	39.99	62.71	321
168	Loose excess materials on site	10	cy	0.00	4.11	6.45	10.56	0.00	39.99	62.71	103
169											
170							Totals	106,871.92	28,850.18	80,822.46	216,545
171											

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172												
173												
174												
175	Div 2.6	Description PAVINGS AND WALKS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
176					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
177												
178		Concrete Walks: place concrete	25	CY	137.50	2.50	43.13	183.13	3,432.37	62.41	1,076.52	4,571
179		Concrete Walks: finish concrete	2,042	SF	0.13	0.08	1.44	1.65	255.30	170.20	2,935.95	3,361
180		Mesh for Concrete Walks	2,349	SF	0.27	0.00	3.08	3.35	643.76	0.00	7,235.02	7,879
181		Curbing for concrete sidewalks	90	lf	12.50	11.11	19.17	42.78	1,125.00	1,000.00	1,725.00	3,850
182	excavate	Excavate for Concrete Walks	72	cy	0.00	6.41	9.21	15.63	0.00	463.08	665.68	1,129
183	backfill	Concrete Walks Sub- Base Prep. (6" Gravel Base)	47	cy	0.00	4.11	6.45	10.56	0.00	194.47	304.96	499
184		Bituminous Paving , Binder 2" +1.5" Finish	2,094	sy	7.50	7.75	8.63	23.88	15,706.67	16,230.22	18,062.67	50,000
185	excavate	Excavate for Bit. Paving	1,164	cy	0.00	6.41	9.21	15.63	0.00	7,459.94	10,723.66	18,184
186	backfill	Bit. Pavement Sub- Base Prep. (12" Gravel Base)	875	cy	0.00	4.11	6.45	10.56	0.00	3,599.09	5,644.03	9,243
187		Bit. Curbing	450	lf	1.25	4.50	8.63	14.38	562.50	2,025.00	3,881.25	6,469
188		Entry Concrete Pads	2	ea	312.50	248.00	345.00	905.50	625.00	496.00	690.00	1,811
189		Equipment Concrete Pads	2	ea	312.50	248.00	345.00	905.50	625.00	496.00	690.00	1,811
190												
191								Totals	22,975.59	32,196.40	53,634.72	108,807
192												
193												
194												
195												
196	Div 2.7	Description SITE IMPROVEMENTS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
197					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
198												
199		Site Improvements	11,040	sf	0.94	0.20	0.35	1.48	10,350.00	2,208.00	3,808.80	16,367
200												
201								Totals	10,350.00	2,208.00	3,808.80	16,367
202												
203												
204												
205												
206												
207												
208	Div 2.8	Description LANDSCAPING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
209					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
210												
211		Landscaping	5,520	sf	3.75	0.33	0.58	4.66	20,700.00	1,840.00	3,174.00	25,714
212		Loam 4"	128	cy	35.00	25.00	43.13	103.13	4,472.22	3,194.44	5,510.42	13,177
211		Seed	5,520	sf	0.09	0.36	0.62	1.06	483.00	1,971.43	3,400.71	5,855
212		Trees	18	ea	375.00	166.67	287.50	829.17	6,606.38	2,936.17	5,064.89	14,607
213		Bark Mulch	20	cy	43.75	3.75	14.38	61.88	892.07	76.46	293.11	1,262
214												
215								Totals	33,153.67	10,018.51	17,443.13	60,615
216												
217												

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218												
219												
220												
221	Div 3.1	Description CONCRETE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
222					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
223												
224		Continuous Footings: forms	976	SFCA	0.45	0.00	3.85	4.30	438.44	0.00	3,758.04	4,196
225		Continuous Footings: rebar	2.20	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	2,524.89	2,525
226		Continuous Footings: place concrete	44	cy	137.50	2.50	43.13	183.13	6,037.78	109.78	1,893.67	8,041
227		Continuous Footings: finish concrete	912	SFCA	0.13	0.08	1.44	1.65	114.00	76.00	1,311.00	1,501
228		Reinforcing Steel materials	2.20	Tons	2,417.36	0.00	0.00	2,417.36	5,307.44	0.00	0.00	5,307
229												
230		Foundation Walls: forms	2,432	SFCA	0.45	0.00	5.39	5.84	1,092.50	0.00	13,110.00	14,203
231		Foundation Walls: rebar labor	2.25	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	2,589.63	2,590
232		Foundation Walls: place concrete	45	cy	137.50	2.50	43.13	183.13	6,192.59	112.59	1,942.22	8,247
233		Foundation Walls: finish concrete	304	SFCA	0.13	0.08	1.44	1.65	38.00	25.33	437.00	500
234		Reinforcing Steel materials	2.25	Tons	2,417.36	0.00	0.00	2,417.36	5,443.53	0.00	0.00	5,444
235												
236		Spread Footings: forms	221	SFCA	0.45	0.00	3.85	4.30	99.19	0.00	850.18	949
237		Spread Footings: rebar labor	1	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	940.44	940
238		Spread Footings: place concrete	16	cy	137.50	2.50	43.13	183.13	2,248.89	40.89	705.33	2,995
239		Spread Footings: finish concrete	221	SFCA	0.13	0.08	1.44	1.65	27.60	18.40	317.40	363
240		Reinforcing Steel materials	1	Tons	2,417.36	0.00	0.00	2,417.36	1,976.86	0.00	0.00	1,977
241												
242		Elevator Pad: footings: forms	36	SFCA	0.45	0.00	3.85	4.30	16.17	0.00	138.62	155
243		Elevator Pad: footings: rebar labor	0.2	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	172.50	173
244		Elevator Pad: place concrete	3	cy	137.50	2.50	43.13	183.13	412.50	7.50	129.38	549
245		Elevator Pad: finish concrete	81	SFCA	0.13	0.08	1.44	1.65	10.13	6.75	116.44	133
246		Reinforcing Steel materials	0.2	Tons	2,417.36	0.00	0.00	2,417.36	362.60	0.00	0.00	363
247												
248		Elevator Foundation Walls: forms	288	SFCA	0.45	0.00	3.85	4.30	129.38	0.00	1,108.93	1,238
249		Elevator Foundation Walls: rebar labor	0.3	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	306.67	307
250		Elevator Foundation Walls: place concrete	5	cy	137.50	2.50	43.13	183.13	733.33	13.33	230.00	977
251		Elevator Foundation Walls: finish concrete	36	SFCA	0.13	0.08	1.44	1.65	4.50	3.00	51.75	59
252		Reinforcing Steel materials	0.3	Tons	2,417.36	0.00	0.00	2,417.36	644.63	0.00	0.00	645
253												
254												
255		Slab on Grade: forms, exp jts, poly	5,520	SF	0.36	0.00	2.25	2.61	1,983.75	0.00	12,398.44	14,382
256		Slab on Grade: rebar labor	3	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	3,914.60	3,915
257		Mesh	6,072	SF	0.27	0.00	3.08	3.35	1,664.23	0.00	18,703.93	20,368
258		Slab on Grade: place concrete	68	CY	137.50	2.50	43.13	183.13	9,361.00	170.20	2,935.95	12,467
259		Slab on Grade: finish concrete	5,520	SF	0.13	0.08	1.44	1.65	690.00	460.00	7,935.00	9,085
260		Reinforcing Steel materials	3	Tons	2,417.36	0.00	0.00	2,417.36	8,228.68	0.00	0.00	8,229
261												
262		Topping Slab on Precast Planks forms 3"	5,520	SF	0.36	0.00	2.25	2.61	1,983.75	0.00	12,398.44	14,382
263		Slab on Metal Deck: rebar labor	0	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	0.00	0
264		Mesh	0.00	SF	0.27	0.00	3.08	3.35	0.00	0.00	0.00	0
265		Slab on Precast Planks place concrete	51	CY	137.50	2.50	43.13	183.13	7,027.78	127.78	2,204.17	9,360
266		Slab on Precast planks: finish concrete	5,520	SF	0.13	0.08	1.44	1.65	690.00	460.00	7,935.00	9,085
267		Reinforcing Steel materials	0	Tons	2,417.36	0.00	0.00	2,417.36	0.00	0.00	0.00	0
268												
269		Concrete for Metal Stair Pans	1	cy	225.00	100.00	1,725.00	2,050.00	297.00	132.00	2,277.00	2,706
270												
271												
272								Totals	63,256.23	1,763.55	103,336.60	168,356
273												
274												

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275													
276													
277													
278													
279	Div3.2	Description	PRECAST CONCRETE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
280						Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
281													
282		Precast Concrete Planks		6,080	sf	6.25	2.60	3.45	12.30	38,000.00	15,808.00	20,976.00	74,784
283													
284													
285													
286									Totals	38,000.00	15,808.00	20,976.00	74,784
287													
288													
289													
290													
291													
292													
293													
294	Div 4.1	Description	MASONRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
295						Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
296													
297		CMU Block, grout, etc perimeter walls		7,296	blk	5.00	3.60	13.80	22.40	36,480.00	26,265.60	100,684.80	163,430
298		Brick Veneer		42,560	brk	3.75	1.13	4.31	9.19	159,600.00	47,880.00	183,540.00	391,020
299		CMU Block, grout, etc interiors walls		4,416	blk	5.00	3.20	13.80	22.00	22,080.00	14,131.20	60,940.80	97,152
300		CMU Block, grout, etc stairs and elevator		5,252	blk	5.00	3.20	13.80	22.00	26,260.00	16,806.40	72,477.60	115,544
301													
302									Totals	244,420.00	105,083.20	417,643.20	767,146
303													
304													
305													
306													
307													
308	Div 5.2	Description	METALS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
309						Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
310													
311		Stairs		36	riser	375.00	30.56	95.83	501.39	13,500.00	1,100.00	3,450.00	18,050
312													
313													
314		Lintels, Connectors, Brackets, Misc Supports, etc.		0.5	T	2,125.00	1,133.33	1,150.00	4,408.33	1,062.50	566.67	575.00	2,204
315													
316													
317		Cage Ladder and Hatch to attic		1	ea	1,125.00	175.00	862.50	2,162.50	1,125.00	175.00	862.50	2,163
318		Metal Canopy and supports		100	sf	87.50	0.00	21.56	109.06	8,750.00	0.00	2,156.25	10,906
319		Bollards		2.0	ea	2.50	200.00	345.00	547.50	5.07	405.33	699.20	1,110
320													
321									Totals	24,442.57	2,247.00	7,742.95	34,433
322													
323													
324													

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325													
326													
327	Div 6.1	Description	ROUGH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
328						Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
329													
330		Rough Carpentry		11,040	sf	0.31	0.00	0.58	0.89	3,450.00	0.00	6,348.00	9,798
331													
332									Totals	3,450.00	0.00	6,348.00	9,798
333													
334													
335													
336													
337													
338													
339	Div 6.2	Description	FINISH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
340						Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
341													
342		Finish Carpentry		11,040	sf	0.63	0.00	0.69	1.32	6,900.00	0.00	7,617.60	14,518
343													
344									Totals	6,900.00	0.00	7,617.60	14,518
345													
346													
347													
348													
349													
350													
351	Div 6.3	Description	ARCHITECTURAL WOODWORK	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
352						Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
353													
354		Cabinetry		30	lf	201.25	0.00	24.64	225.89	6,037.50	0.00	739.29	6,777
355													
356									Totals	6,037.50	0.00	739.29	6,777
357													
358													
359													
360													
361													
362													
363	Div 7.1	Description	WATERPROOFING, Sealants	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
364						Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
365													
366		Foundation Wall		3,040	sf	0.50	0.00	1.92	2.42	1,520.00	0.00	5,826.67	7,347
367													
368													
369		Exterior Sealants , Control Joints		223	lf	5.00	0.00	43.13	48.13	1,114.67	0.00	9,614.00	10,729
370													
371													
372		Fire stopping all penetrations		11,040	sf	0.19	0.00	0.43	0.62	2,070.00	0.00	4,761.00	6,831
373													
374													
375		Interior Caulking		11,040	sf	0.31	0.00	0.49	0.81	3,450.00	0.00	5,441.14	8,891
376													
377													
378									Totals	8,154.67	0.00	25,642.81	33,797
379													
380													

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381												
382												
383												
384	Div 7.2	Description INSULATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
385					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
386												
387		Foundation slab and walls	9,120	sf	1.69	0.00	2.16	3.84	15,390.00	0.00	19,665.00	35,055
388		Insulation interior walls / 50%	10,000	sf	0.39	0.00	1.71	2.11	3,940.63	0.00	17,113.10	21,054
389		Insulation walls perimeter	6,000	sf	0.39	0.00	1.71	2.11	2,364.38	0.00	10,267.86	12,632
390												
391								Totals	21,695.00	0.00	47,045.95	68,741
392												
393												
394												
395												
396												
397												
398	Div 7.3	Description ROOFING & SIDING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
399					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
400												
401		Roof Membrane	6,072	sf	3.38	1.00	4.31	8.69	20,493.00	6,072.00	26,185.50	52,751
402		1/2 protection board	6,072	sf	0.38	0.00	2.16	2.53	2,277.00	0.00	13,092.75	15,370
403		Felt vapor membrane	6,072	sf	1.88	0.00	2.16	4.03	11,385.00	0.00	13,092.75	24,478
404		4" roof insulation tapered	6,072	sf	3.13	0.00	2.16	5.28	18,975.00	0.00	13,092.75	32,068
405		Roof Drains	4	ea	125.00	0.00	172.50	297.50	500.00	0.00	690.00	1,190
406		Aluminum Flashing & misc	304	lf	3.13	0.00	4.31	7.44	950.00	0.00	1,311.00	2,261
407		Roof Blocking, curbs roof top units	11	ea	62.50	0.00	143.75	206.25	687.50	0.00	1,581.25	2,269
408		Roof Blocking perimeter walls	304	lf	2.50	0.00	5.75	8.25	760.00	0.00	1,748.00	2,508
409		Roof Hatches	1	ea	625.00	75.00	431.25	1,131.25	625.00	75.00	431.25	1,131
410												
411												
412								Totals	56,666.43	6,188.80	71,465.60	134,321
413												
414												
415												
416												
417												
418												
419	Div 8.1	Description DOORS & FRAMES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
420					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
421												
422		Exterior Doors single hung	3	ea	1,237.50	0.00	191.67	1,429.17	3,712.50	0.00	575.00	4,288
423		Exterior Doors Double hung	1	pr	2,200.00	0.00	246.43	2,446.43	2,200.00	0.00	246.43	2,446
424		Interior Doors Single Hung	52	ea	1,237.50	0.00	191.67	1,429.17	64,350.00	0.00	9,966.67	74,317
425		Subtotal	56	ea								
426		Door sidelight , Vision Panels	20	ea	1,100.00	0.00	191.67	1,292	22,000.00	0.00	3,833.33	25,833
427												
428								Totals	92,262.50	0.00	14,621.43	106,884
429												
430												
431												

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432											
433											
434	Div 8.2	Description HARDWARE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
435					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
436											
437		Door Hardware	48	ea	568.75	0.00	123.21	692	27,300.00	0.00	5,914.29
438		Door Hardware with Panic	8	ea	693.75	0.00	123.21	817	5,550.00	0.00	985.71
439											
440								Totals	32,850.00	0.00	6,900.00
441											
442											
443											
444											
445											
446											
447	Div 8.3	Description GLASS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
448					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
449											
450		Perimeter exterior window units	52	ea	656.25	0.00	215.63	871.88	34,125.00	0.00	11,212.50
451		Panning for exterior window units	713	lf	2.50	0.00	6.74	9.24	1,782.50	0.00	4,804.39
452											
453		Storefront	42	sf	43.75	4.38	21.56	69.69	1,837.50	183.75	905.63
454		Storefront door	2	pr	1,250.00	43.75	215.63	1,509.38	2,500.00	87.50	431.25
455		Curtain Wall	0	sf	43.75	4.38	21.56	69.69	0.00	0.00	0.00
456											
457		Interior Glazing	552	sf	43.75	0.00	10.27	54.02	24,150.00	0.00	5,667.86
458											
459								Totals	64,395.00	271.25	23,021.63
460											
461											
462											
463											
464	Div 9.1	Description DRYWALL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
465					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
466											
467		Metal Stud Exterior Wall 3-5/8	6,080	sf	2.07	0.00	2.03	4.10	12,585.60	0.00	12,350.00
468		Metal Stud Interior Wall 3-5/8	20,000	sf	2.07	0.00	2.03	4.10	41,400.00	0.00	40,625.00
469		Drywall Board Install Exterior Walls	6,080	sf	0.58	0.00	0.89	1.47	3,550.63	0.00	5,395.06
470		Drywall Board Finish Exterior Walls (Taping Level 4)	6,080	sf	0.07	0.00	1.00	1.07	407.87	0.00	6,069.44
471		Drywall Board Install Interior Walls	40,000	sf	0.58	0.00	0.89	1.47	23,359.38	0.00	35,493.83
472		Drywall Board Finish Interior Walls (Taping Level 4)	40,000	sf	0.07	0.00	1.00	1.07	2,683.33	0.00	39,930.56
473		Blocking In Metal Stud walls only	200	lf	3.00	0.00	4.31	7.31	600.00	0.00	862.50
474											
475											
476								Totals	84,586.80	0.00	140,726.39
477											
478											
479											
480											

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481												
482												
483												
484	Div 9.2	Description TILE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
485					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
486												
487		Bathroom Floors	500	sf	3.38	0.00	24.64	28.02	1,687.50	0.00	12,321.43	14,009
488		Bathroom Walls /Wainscot	770	sf	3.38	0.00	24.64	28.02	2,598.75	0.00	18,975.00	21,574
489		Kitchen Tile Floors	150	sf	3.38	0.00	24.64	28.02	506.25	0.00	3,696.43	4,203
490												
491								Totals	4,792.50	0.00	34,992.86	39,785
492												
493												
494												
494												
495												
496												
497												
498	Div 9.3	Description CARPET	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
499					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
500												
501		Carpet	705	sy	23.44	0.00	8.63	32.06	16,523.44	0.00	6,080.63	22,604
502												
503								Totals	16,523.44	0.00	6,080.63	22,604
504												
505												
506												
508												
509												
510	Div 9.4	Description RESILIENT	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
511					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
512												
513		VCT Flooring and Vinyl Base	0	sf	1.56	0.00	3.99	5.56	0.00	0.00	0.00	0
514		RRB Flooring and Rubber Base	5,520	sf	2.34	0.00	2.88	5.22	12,937.50	0.00	15,870.00	28,808
515		Rubber Treads and Risers	36	r	57.81	0.00	57.50	115.31	2,081.25	0.00	2,070.00	4,151
516		Entry MAT Recessed	2	ea	781.25	0.00	143.75	925.00	1,562.50	0.00	287.50	1,850
517												
518								Totals	16,581.25	0.00	18,227.50	34,809
519												
520												
521												
522												
523	Div 9.5	Description ACOUSTICAL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
524					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
525												
526		Acoustical ceiling Grid System 70%	7,728	sf	1.00	0.00	2.99	3.99	7,728.00	0.00	23,143.75	30,872
527		Accent Metal Grid Ceiling	0	sf	2.50	0.00	4.31	6.81	0.00	0.00	0.00	0
528												
529												
530		Acoustical Ceiling Tiles	7,728	sf	2.50	0.00	1.50	4.00	19,320.00	0.00	11,571.88	30,892
531		Accent metal ceiling	0	sf	6.25	0.00	5.75	12.00	0.00	0.00	0.00	0
532												
533								Totals	27,048.00	0.00	34,715.63	61,764
534												
535												
536												

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537												
538												
539												
540	Div 9.6	Description PAINTING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
541					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
542												
543		Walls GYP p.w.	6,000	sf	0.50	0.00	0.96	1.46	3,000.00	0.00	5,750.00	8,750
544		Walls GYP i.w.	20,000	sf	0.50	0.00	0.96	1.46	10,000.00	0.00	19,166.67	29,167
545		Cells, walls, ceilings	3,300	sf	0.50	0.00	0.86	1.36	1,650.00	0.00	2,846.25	4,496
546		Doors	56	ea	25.00	0.00	71.88	96.88	1,400.00	0.00	4,025.00	5,425
547		Ceiling	3,312	sf	1.00	0.00	1.15	2.15	3,312.00	0.00	3,808.80	7,121
548		Misc. Other Painting	11,040	sf	0.31	0.00	0.49	0.81	3,450.00	0.00	5,441.14	8,891
549		Exterior misc	11,040	sf	0.06	0.00	0.69	0.75	690.00	0.00	7,617.60	8,308
550												
551								Totals	23,502.00	0.00	48,655.46	72,157
552												
553												
554												
555												
556												
557												
558	Div 10.1	Description SPECIALTIES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
559					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
560												
561		Display Boards	2	ea	375.00	0.00	172.50	547.50	750.00	0.00	345.00	1,095
562		Louvers and Vents	2	ea	500.00	0.00	345.00	845.00	1,000.00	0.00	690.00	1,690
563		Fire Extinguishers	2	ls	500.00	0.00	86.25	586.25	1,000.00	0.00	172.50	1,173
564		Toilet Accessories: Mirrors	4	ea	87.50	0.00	115.00	202.50	350.00	0.00	460.00	810
565		Waste Receptacles	4	ea	187.50	0.00	101.47	288.97	750.00	0.00	405.88	1,156
566		Paper Towel Dispenser	4	ea	350.00	0.00	101.47	451.47	1,400.00	0.00	405.88	1,806
567		Sanitary Napkin Disposal	2	ea	375.00	0.00	101.47	476.47	750.00	0.00	202.94	953
568		Toilet Paper Holder	6	ea	62.50	0.00	86.25	148.75	375.00	0.00	517.50	893
569		Seat Cover Dispenser	6	ea	75.00	0.00	101.47	176.47	450.00	0.00	608.82	1,059
570		Coat Hook	8	ea	12.50	0.00	69.00	81.50	100.00	0.00	552.00	652
571		42"grab bars	8	ea	112.50	0.00	115.00	227.50	900.00	0.00	920.00	1,820
572		Hand dryer	4	ea	500.00	0.00	287.50	787.50	2,000.00	0.00	1,150.00	3,150
573		Toilet Partitions	6	ea	1,125.00	0.00	345.00	1,470.00	6,750.00	0.00	2,070.00	8,820
574		Urinal Screens	2	ea	375.00	0.00	215.63	590.63	750.00	0.00	431.25	1,181
575												
576								Totals	17,325.00	0.00	8,931.78	26,257
577												
578												
579												
580												
581												
582												
583	Div 11.1	Description EQUIPMENT	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
584					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
585												
586		Refrigerator	1	ea	750.00	0.00	215.63	965.63	750.00	0.00	215.63	966
587		Dishwasher	1	ea	625.00	0.00	345.00	970.00	625.00	0.00	345.00	970
588		Garbage Disposal	1	ea	231.25	0.00	287.50	518.75	231.25	0.00	287.50	519
589		Microwave	1	ea	250.00	0.00	115.00	365.00	250.00	0.00	115.00	365
590												
591								Totals	1,856.25	0.00	963.13	2,819
592												

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593												
594												
596												
597												
598												
599	Div 12.1	Description FURNISHINGS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
600					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
601												
602		Window Shades Manual	41	ea	187.50	0.00	115.00	302.50	7,600.00	0.00	4,661.33	12,261
603		Window Shades Motorized	0	ea	585.94	0.00	215.63	801.56	0.00	0.00	0.00	0
604												
605								Totals	7,600.00	0.00	4,661.33	12,261
606												
607												
608												
609												
610												
611												
612	Div 14	Description ELEVATORS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
613					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
614												
615	rough	Elevator Pit Work	1	ea	3,750.00	0.00	3,900.00	7,650.00	3,750.00	0.00	3,900.00	7,650
616	rough	Elevator Shaft	2	fl	8,750.00	0.00	7,800.00	16,550.00	17,500.00	0.00	15,600.00	33,100
617	rough	Elevator Equipment	1	ea	3,750.00	0.00	7,800.00	11,550.00	3,750.00	0.00	7,800.00	11,550
618	rough	Elevator Cab Rough	1	ea	5,000.00	0.00	7,800.00	12,800.00	5,000.00	0.00	7,800.00	12,800
619												
620												
621	finish	Elevator Cab Finishes	1	ea	8,750.00	0.00	15,600.00	24,350.00	8,750.00	0.00	15,600.00	24,350
622												
623								Totals	38,750.00	0.00	50,700.00	89,450
624												
625												
626												

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659											
660											
661	Div 15.2	Description PLUMBING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
662					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
663											Item Cost
664	rough	Underground plumbing: sanitary	5,520	sf	1.00	0.03	0.39	1.42	5,520.00	165.60	2,152.80
665	rough	Underground storm	5,520	sf	0.88	0.03	0.33	1.23	4,830.00	138.00	1,794.00
666	rough	Reducer pressure backflow preventer	5,520	sf	0.38	0.02	0.20	0.59	2,070.00	82.80	1,076.40
667	rough	Backwater valve	5,520	sf	0.25	0.02	0.20	0.46	1,380.00	82.80	1,076.40
668											
669											
670											
671	rough	Building Utility Connections; Sanitary, Storm, Gas, Water	1	ea	625.00	150.00	1,950.00	2,725.00	625.00	150.00	1,950.00
672											
673	rough	Water Closets regular	3	ea	0.00	75.00	975.00	1,050.00	0.00	225.00	2,925.00
674	rough	Water Closets ADA	3	ea	0.00	75.00	975.00	1,050.00	0.00	225.00	2,925.00
675	rough	Lavatory regular	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00
676	rough	Lavatory ADA	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00
678	rough	Urinal ADA	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00
679	rough	Drinking Fountain	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00
681	rough	Kitchenette Sink	1	ea	0.00	75.00	975.00	1,050.00	0.00	75.00	975.00
682	rough	Janitor's Sink	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00
683	rough	Exterior wall hydrants	4	ea	0.00	75.00	975.00	1,050.00	0.00	300.00	3,900.00
684	rough	Floor drains, primers	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00
685	rough	Roof drains	4	ea	0.00	75.00	975.00	1,050.00	0.00	276.00	3,588.00
686	rough	Dishwasher	1	ea	662.50	37.50	487.50	1,187.50	662.50	37.50	487.50
687	rough	Garbage disposal	1	ea	287.50	37.50	487.50	812.50	287.50	37.50	487.50
688	rough	Hot Water Tank / storage	1	ea	1,037.50	50.00	650.00	1,737.50	1,037.50	50.00	650.00
689	Insulation	Insulation 3/4 " Copper service jacket	330	lf	2.50	0.00	6.50	9.00	825.00	0.00	2,145.00
690	Insulation	Insulation 1/2" Copper service jacket	440	lf	2.50	0.00	4.88	7.38	1,100.00	0.00	2,145.00
691	finish	Water Closets regular	3	ea	40.00	37.50	487.50	565.00	120.00	112.50	1,462.50
692	finish	Water Closets ADA	3	ea	262.50	37.50	487.50	787.50	787.50	112.50	1,462.50
693	finish	Lavatory ADA	2	ea	287.50	37.50	487.50	812.50	575.00	75.00	975.00
694	finish	Urinal	2	ea	40.00	37.50	487.50	565.00	80.00	75.00	975.00
695	finish	Shower regular	2	ea	40.00	37.50	487.50	565.00	80.00	75.00	975.00
696	finish	Kitchen Sink regular	2	ea	40.00	37.50	487.50	565.00	80.00	75.00	975.00
697	finish	Janitor's Sink	1	ea	662.50	37.50	487.50	1,187.50	662.50	37.50	487.50
698	finish	Washing Machine box	2	ea	40.00	37.50	487.50	565.00	80.00	75.00	975.00
699	finish	Floor drains, primers	4	ea	131.25	37.50	487.50	656.25	525.00	150.00	1,950.00
700	finish	Roof drains	2	ea	131.25	37.50	487.50	656.25	262.50	75.00	975.00
701	finish	Dishwasher	4	ea	662.50	37.50	487.50	1,187.50	2,438.00	138.00	1,794.00
702	finish	Garbage disposal	1	ea	287.50	37.50	487.50	812.50	287.50	37.50	487.50
703	finish	Washer / Dryer connect	1	ea	37.50	37.50	487.50	562.50	37.50	37.50	487.50
713	finish	Final Turn Over, Flushing , Testing, Tags.	11,040	sf	0.13	0.00	0.33	0.45	1,380.00	0.00	3,588.00
714											
715								Totals	25,733.00	3,820.70	57,547.10
716											
717											

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718											
719											
720	Div 15.3	Description HVAC	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
721					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
722											
723	Rough	Ductwork supply and returns	11,040	sf	3.94	0.00	3.25	7.19	43,470.00	0.00	35,880.00
724	Rough	VAV Boxes	6	ea	45.00	0.00	195.00	240.00	283.89	0.00	1,230.17
728	Rough	Bathroom Fans	4	ea	270.00	0.00	650.00	920.00	1,080.00	0.00	2,600.00
729	Rough	Kitchen Fans (supplied by others)	1	ea	120.00	0.00	650.00	770.00	120.00	0.00	650.00
730	Rough	Smoke fan & exhaust ductwork	11,040	sf	1.80	0.00	1.30	3.10	19,872.00	0.00	14,352.00
731	Rough	AC unit for tele/data & ductwork	1	ea	251.80	0.00	1,950.00	2,201.80	251.80	0.00	1,950.00
732	Rough	Refrigerant piping	11,040	sf	1.13	0.00	0.49	1.61	12,420.00	0.00	5,382.00
733	Rough	Controls/ wiring	11,040	sf	0.31	0.00	0.49	0.80	3,450.00	0.00	5,382.00
734	Insulation	Insulated cw and hot water to piping	11,040	sf	0.50	0.00	0.56	1.06	5,520.00	0.00	6,150.86
735	Insulation	Insulated foil / vinyl faced ductwork	6,338	sf	0.63	0.00	0.98	1.61	3,992.80	0.00	6,179.33
736	Finish	Ductwork supply and returns Diffusers	55	ea	22.50	0.00	65.00	87.50	1,242.00	0.00	3,588.00
737	Finish	Ductwork supply and returns Diffusers	55	ea	22.50	0.00	65.00	87.50	1,242.00	0.00	3,588.00
738	Finish	VAV Boxes	6	ea	750.00	0.00	975.00	1,725.00	4,731.43	0.00	6,150.86
739	Finish	Roof Top Units A/C / FHA	32	Ton	750.00	0.00	195.00	945.00	23,657.14	0.00	6,150.86
740	Finish	Energy Recovery Wheel	1	ea	750.00	0.00	975.00	1,725.00	750.00	0.00	975.00
741	Finish	Bathroom Fans	4	ea	22.50	0.00	487.50	510.00	90.00	0.00	1,950.00
742	Finish	Kitchen Fans (supplied by others)	1	ea	22.50	0.00	243.75	266.25	22.50	0.00	243.75
743	Finish	Laundry Exhaust (Dryer supplied by others)	11	ea	22.50	0.00	243.75	266.25	247.50	0.00	2,681.25
744	Finish	Smoke exhaust ductwork	11,040	sf	0.38	0.00	0.39	0.77	4,140.00	0.00	4,305.60
745	Finish	AC unit for tele/data & ductwork	2	ea	251.80	0.00	1,950.00	2,201.80	555.97	0.00	4,305.60
750	Finish	Controls	11,040	sf	1.13	0.00	0.39	1.52	12,420.00	0.00	4,305.60
751	Finish	Testing and Balancing	11,040	sf	0.63	0.00	0.65	1.28	6,900.00	0.00	7,176.00
752											
753								Totals	102,989.03	0.00	89,296.88
754											
755											

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756											
757											
758	Div 16.1	Description ELECTRICAL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
759					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
760											
761	Rough	Electrical under SOG	11,040	sf	0.63	0.00	0.78	1.41	6,900.00	0.00	8,611.20
762											
763											
764	Rough	Main Service, Panels, Distribution	1,380	Amp	7.50	0.00	9.75	17.25	10,350.00	0.00	13,455.00
765	Rough	Light Fixtures	72	ea	37.50	0.00	243.75	281.25	2,700.00	0.00	17,550.00
766	Rough	Outlets	208	ea	37.50	0.00	139.29	176.79	7,800.00	0.00	28,971.43
767	Rough	Switches; Single Poles, 3ways	10	ea	37.50	0.00	139.29	176.79	375.00	0.00	1,392.86
768	Rough	Occupancy Sensor Switches; wall, ceiling	50	ea	37.50	0.00	139.29	176.79	1,875.00	0.00	6,964.29
769	Rough	Telephone / CATV / Data	50	ea	3.75	0.00	139.29	143.04	187.50	0.00	6,964.29
770	Rough	Fans/Motors/Equipment	2	ea	156.25	0.00	487.50	643.75	312.50	0.00	975.00
771	Rough	Hand Dryers	2	ea	156.25	0.00	325.00	481.25	345.00	0.00	717.60
772	Rough	VAV Boxes (supplied by others)	6	ea	75.00	0.00	650.00	725.00	473.14	0.00	4,100.57
773	Rough	Water Coolers (supplied by others)	2	ea	156.25	0.00	487.50	643.75	345.00	0.00	1,076.40
774	Rough	Lighting Protection	304	lf	93.75	0.00	19.50	113.25	28,500.00	0.00	5,928.00
778	Rough	Make Up Air Unit	1	ea	93.75	0.00	650.00	743.75	93.75	0.00	650.00
779	Rough	Kitchen Vents	1	ea	93.75	0.00	325.00	418.75	93.75	0.00	325.00
780	Rough	Bathroom Exhausts	4	ea	93.75	0.00	243.75	337.50	375.00	0.00	975.00
781	Rough	Dishwasher (supplied by others)	1	ea	93.75	0.00	243.75	337.50	93.75	0.00	243.75
782	Rough	Electric Hot Water Heater (supplied by others)	2	ea	93.75	0.00	487.50	581.25	187.50	0.00	975.00
783	Rough	Life Safety	11,040	sf	0.88	0.00	0.65	1.53	9,660.00	0.00	7,176.00
784	Rough	Temps.	11,040	sf	0.25	0.00	0.33	0.58	2,760.00	0.00	3,588.00
785	Rough	Misc Electrical, etc	11,040	sf	0.63	0.00	0.39	1.02	6,900.00	0.00	4,305.60
786	Finish	Main Service, Panels, Distribution	1,380	Amp	3.75	0.00	9.75	13.50	5,175.00	0.00	13,455.00
787	Finish	Light Fixtures	72	ea	375.00	0.00	243.75	618.75	27,000.00	0.00	17,550.00
788	Finish	Outlets	208	ea	6.25	0.00	139.29	145.54	1,300.00	0.00	28,971.43
789	Finish	Switches; Single Poles, 3ways	10	ea	6.25	0.00	139.29	145.54	62.50	0.00	1,392.86
790	Finish	Occupancy Sensor Switches; wall, ceiling	50	ea	18.75	0.00	139.29	158.04	937.50	0.00	6,964.29
791	Finish	Telephone / CATV / Data	50	ea	18.75	0.00	139.29	158.04	937.50	0.00	6,964.29
792	Finish	Fans/Motors/Equipment	2	ea	0.00	0.00	487.50	487.50	0.00	0.00	975.00
793	Finish	Hand Dryers	2	ea	500.00	0.00	325.00	825.00	1,104.00	0.00	717.60
794	Finish	VAV Boxes (supplied by others)	6	ea	25.00	0.00	650.00	675.00	150.00	0.00	3,900.00
795	Finish	Water Coolers (supplied by others)	2	ea	50.00	0.00	487.50	537.50	110.40	0.00	1,076.40
796	Finish	Lighting Protection	304	lf	1.25	0.00	19.50	20.75	380.00	0.00	5,928.00
800	Finish	Make Up Air Unit	1	ea	0.00	0.00	650.00	650.00	0.00	0.00	650.00
801	Finish	Kitchen Vents	1	ea	62.50	0.00	325.00	387.50	62.50	0.00	325.00
802	Finish	Bathroom Exhausts	4	ea	156.25	0.00	243.75	400.00	625.00	0.00	975.00
803	Finish	Dishwasher (supplied by others)	1	ea	62.50	0.00	243.75	306.25	62.50	0.00	243.75
804	Finish	Electric Hot Water Heater (supplied by others)	2	ea	0.00	0.00	487.50	487.50	0.00	0.00	975.00
805	Finish	Life Safety	11,040	sf	1.13	0.00	0.78	1.91	12,420.00	0.00	8,611.20
806	Finish	Misc Electrical, etc	11,040	sf	0.06	0.00	0.39	0.45	690.00	0.00	4,305.60
807											
808								Totals	131,343.79	0.00	218,925.39
809											
810											

<div><div>Project: <i>Millville Town Hall</i> <i>Millville, Massachusetts</i></div><div>Firm: Simon & Associates Co., Inc. 849 East 3rd St, Boston, MA 02127</div><div>Cell 617 650 5438 scott.simonassociates@gmail.com</div></div>	<div>Project No.: NEW BUILDING OPTION with Pitched Roof Option</div>
	<div>Architect: Kleinfelder</div>
	<div>Prepared by: S.SimonChief Estimator</div>

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We Suggest the owner carries 10% Bid Contingency and 5% Potential Changes In Work Contingency, added to the Total Project Cost (TPC).

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Project: <i>Millville Town Hall</i> <i>Millville, Massachusetts</i> Firm: <i>Simon & Associates Co., Inc.</i> <i>849 East 3rd St, Boston, MA 02127</i> Cell <i>617 650 5438</i> <i>scott.simonassociates@gmail.com</i>	Project No. <i>NEW BUILDING OPTION</i> Architect: <i>Kleinfelder</i> Prepared by: <i>S.Simon</i> <i>Chief Estimator</i>
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Item	Detailed Summary of probable costs	Amounts					SF Cost		11,040.00	SF	
1											
2	Div 1.1 Mobilization	16,422					1.49				
3	Div 2.1a Environmental, soil abatement	0					0.00				
4	Div 2.3 EARTHWORK	141,603					12.83				
5	Div 2.3 Ledge Allowance	50,000					4.53				
5	Div 2.5 UTILITIES	216,545					19.61				
6	Div 2.6 PAVINGS AND WALKS	108,807					9.86				
7	Div 2.7 SITE IMPROVEMENTS	16,367					1.48				
8	Div 2.8 LANDSCAPING	60,615					5.49				
9	Div 3.1 CONCRETE	168,356					15.25				
10	Div 3.2 PRECAST CONCRETE	74,784					6.77				
11	Div 4.1 MASONRY	767,146					69.49				
12	Div 5.1 STRUCTURAL STEEL	206,076					18.67				
13	Div 5.2 Misc. METALS	34,433					3.12				
14	Div 6.1 ROUGH CARPENTRY	58,389					5.29				
15	Div 6.2 FINISH CARPENTRY	14,518					1.32				
16	Div 6.3 ARCHITECTURAL WOODWORK	6,777					0.61				
17	Div 7.1 WATERPROOFING, SEALANTS	33,797					3.06				
18	Div 7.2 INSULATION	68,741					6.23				
19	Div 7.3 ROOFING & SIDING	85,448					7.74				
20	Div 8.1 DOORS & FRAMES	106,884					9.68				
21	Div 8.2 HARDWARE	39,750					3.60				
22	Div 8.3 GLASS	87,688					7.94				
23	Div 9.1 DRYWALL	225,313					20.41				
24	Div 9.2 TILE	39,785					3.60				
25	Div 9.3 CARPET	22,604					2.05				
26	Div 9.4 RESILIENT	34,809					3.15				
27	Div 9.5 ACOUSTICAL	61,764					5.59				
28	Div 9.6 PAINTING	72,157					6.54				
29	Div 10.1 SPECIALTIES	26,257					2.38				
30	Div 11.1 EQUIPMENT	2,819					0.26				
31	Div 12.1 FURNISHINGS	12,261					1.11				
32	Div 14.1 ELEVATORS	89,450					8.10				
33	Div 15.1 SPRINKLER	0			Not Carried		0.00				
34	Div 15.2 PLUMBING	87,101					7.89				
35	Div 15.3 HVAC	192,286					17.42				
36	Div 16.1 ELECTRICAL	350,269					31.73				
37	Div 16.1 ELECTRICAL: Generator	76,090					6.89				

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38											
39		SUB TOTAL (Trade Costs)	\$ 3,656,111				331.17				
40											
41	Div 1	GENERAL CONDITIONS / SUPERVISION	\$ 542,925		12.0%						
42		FEE	\$ 219,367		6.0%						
43		Building Permit	\$ 36,561		1.0%						
44		BOND	\$ 43,873		1.2%						
45		Estimators 's CONTINGENCY (Market Conditions)	\$ 365,611		10.0%						
46							SF Cost				
47		TOTAL PROJECT COST (TPC)	\$ 4,864,448				440.62 Per SF				
48											
49			\$ 4,440,423								
50											
51											
52		Option Pitched Roof Addition	424,025								
53											
54											
55											
56											
57											
58											
59											
60											
61											
62											
63											
64											

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65												
66		<u>Scopes / Description of Work</u>										
67												
68												
69												
70	Div 1.1	Description MOBILIZATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
71					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
72												
73		Mobilization: Site Trailer, Site Fence, Temp Water,Electrical,Sanitary	11,040	sf	0.63	0.00	0.86	1.49	6,900.00	0.00	9,522.00	16,422
74												
75								Totals	6,900.00	0.00	9,522.00	16,422
76												
77												
78												
79												
80												
81	Div 2.3	Description EARTHWORK	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
82					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
83												
84		Site Preparation: protection	60,720	sf	0.25	0.00	0.29	0.54	15,180.00	0.00	17,457.00	32,637
85		Hay Bales	912	lf	2.50	0.00	4.31	6.81	2,280.00	0.00	3,933.00	6,213
86		Filter Fabric	912	lf	2.50	0.00	4.93	7.43	2,280.00	0.00	4,494.86	6,775
87		Protect existing catch basins	1	ls	375.00	0.00	345.00	720.00	375.00	0.00	345.00	720
88		Protect existing utilities	1	ls	625.00	0.00	345.00	970.00	625.00	0.00	345.00	970
89		Temp. Site Fence	365	lf	18.75	0.00	5.39	24.14	6,840.00	0.00	1,966.50	8,807
90		Temp. Security Fence	0	lf	43.75	0.00	5.75	49.50	0.00	0.00	0.00	0
91		Stabilized Construction Entrance, Wheel Wash	1	ls	625.00	0.00	1,725.00	2,350.00	625.00	0.00	1,725.00	2,350
92		Mira Mat or Equivalent	0	sy	3.75	0.00	3.45	7.20	0.00	0.00	0.00	0
92	excavate	Clear and Grub	1.00	Ac.	0.00	7,400.00	6,900.00	14,300.00	0.00	7,400.00	6,900.00	14,300
93	excavate	Cut Site / Strip Stockpile	1,111	cy	0.00	6.41	9.21	15.63	0.00	7,122.51	10,238.60	17,361
94	excavate	Truck off excess cut site Materials	222	cy	5.00	3.13	8.98	17.11	1,111.11	694.44	1,996.53	3,802
95	excavate	Excavate for full Bsmt, or LL levels Foundations	0	cy	0.00	6.41	9.21	15.63	0.00	0.00	0.00	0
96	excavate	Trucking off Site Excess Materials for Full Bsmt.	0	cy	5.00	3.13	8.98	17.11	0.00	0.00	0.00	0
97	excavate	Excavate for P.W. Foundation Walls (No Basement)	352	cy	0.00	6.41	9.21	15.63	0.00	2,255.46	3,242.22	5,498
98	excavate	Trucking off Site Excess Materials for P.W. Foundations	106	cy	5.00	3.65	8.98	17.63	527.78	384.84	948.35	1,861
99	excavate	Excavate for Spread Foundations	47	cy	0.00	6.41	9.21	15.63	0.00	301.95	434.05	736
100	excavate	Trucking off Site Excess Mat'ls for Spread Foundations	14	cy	5.00	3.13	8.98	17.11	70.66	44.16	126.96	242
101	excavate	Excavate for elevator pit	33	cy	0.00	6.41	9.21	15.63	0.00	213.68	307.16	521
102	excavate	Trucking off Site Excess Mat'ls for Elevator Pit	10	cy	5.00	3.13	8.98	17.11	50.00	31.25	89.84	171
103												0
104												0
105	backfill	Rough grade site	30,000	sf	0.03	0.28	0.43	0.73	750.00	8,250.00	12,937.50	21,938
106	backfill	Backfill full basement	0	cy	22.50	4.11	6.45	33.06	0.00	0.00	0.00	0
106	backfill	Backfill PW foundations	246	cy	0.00	4.11	6.45	10.56	0.00	1,013.08	1,588.69	2,602
107	backfill	Backfill Spread Foundations	58	cy	0.00	4.11	6.45	10.56	0.00	240.43	377.03	617
108	backfill	Backfill Elevator pit	23	cy	0.00	4.11	6.45	10.56	0.00	95.98	150.51	246
109	backfill	Vapor Barrier under SOG	5,520	sf	0.63	0.37	0.58	1.57	3,450.00	2,024.00	3,174.00	8,648
110	backfill	Excavate and Backfill for under slab plumbing, electrical	5,520	sf	0.13	0.28	0.43	0.83	690.00	1,518.00	2,380.50	4,589
111	backfill	Fill Footprint of building razed	0	cy	22.50	4.11	6.45	33.06	0.00	0.00	0.00	0
111												
112								Totals	34,854.54	31,589.76	75,158.31	141,603
113												
114												
115												
116												

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117												
118												
119												
120	Div 2.5	Description UTILITIES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
121					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
122												
123		WATER										
124		Water Piping 2" Copper	60	lf	29.00	0.00	4.79	33.79	1,740.00	0.00	287.50	2,028
125		Well	500	lf	25.00	12.50	14.38	51.88	12,500.00	6,250.00	7,187.50	25,938
126		Excavate for piping	69	cy	0.00	5.88	9.21	15.09	0.00	408.06	639.91	1,048
127		Backfill for piping	67	cy	0.00	4.11	6.45	10.56	0.00	274.22	430.02	704
128		Excavate for main tap (street)	46	cy	0.00	5.88	9.21	15.09	0.00	272.04	426.61	699
129		Backfill for main tap (street)	46	cy	0.00	4.11	6.45	10.56	0.00	190.43	298.63	489
130		Sand bed	3	cy	22.50	4.11	6.45	33.06	62.50	11.43	17.92	92
131		Loose excess materials on site	3	cy	0.00	4.11	6.45	10.56	0.00	11.43	17.92	29
132		SEPTIC SYSTEM										
133		Septic System Piping 4" C.I..	60	lf	3.75	0.00	5.75	9.50	225.00	0.00	345.00	570
134		Leaching Field Piping 4" pvc perf.	960	lf	1.58	0.00	5.75	7.33	1,512.00	0.00	5,520.00	7,032
135		Distribution Box	1	ea	250.00	0.00	345.00	595.00	250.00	0.00	345.00	595
135		Holding tank	1	ea	1,250.00	1,100.00	1,725.00	4,075.00	1,250.00	1,100.00	1,725.00	4,075
136		Excavate for piping	69	cy	0.00	6.41	9.21	15.63	0.00	445.16	639.91	1,085
137		Backfill for piping	67	cy	0.00	4.11	6.45	10.56	0.00	274.22	430.02	704
138		Excavate for leaching field 4' deep	444	cy	0.00	6.41	9.21	15.63	0.00	2,849.00	4,095.44	6,944
139		Back Fill Gravel Fill /Stones	444	cy	35.00	4.11	6.45	45.56	15,555.56	1,828.11	2,866.81	20,250
140		Loam	56	cy	47.50	4.11	6.45	58.06	2,638.89	228.51	358.35	3,226
141		Trucking off Site Excess Materials for Septic System	444	cy	5.00	3.65	8.98	17.63	2,222.22	1,620.37	3,993.06	7,836
142		STORM										
143		Storm Piping 6" RCP	300	lf	24.00	0.00	5.75	29.75	7,200.00	0.00	1,725.00	8,925
144		Storm Piping 15" RCP	260	lf	46.50	0.00	5.75	52.25	12,090.00	0.00	1,495.00	13,585
145		Tie into storm or Reclamation System	1	ea	2,250.00	0.00	1,725.00	3,975.00	2,250.00	0.00	1,725.00	3,975
146		Catch Basins	4	ea	2,250.00	0.00	1,725.00	3,975.00	9,000.00	0.00	6,900.00	15,900
147		Excavate for piping	635	cy	0.00	6.41	9.21	15.63	0.00	4,070.51	5,851.36	9,922
148		Backfill for piping	345	cy	0.00	4.11	6.45	10.56	0.00	1,419.07	2,225.36	3,644
149		Loose excess materials on site	290	cy	0.00	4.11	6.45	10.56	0.00	1,192.84	1,870.59	3,063
150		PERIMETER DRAIN at Building										
151		GAS: By Propane Supplier										
152		Piping	50	lf	10.50	0.00	4.31	14.81	525.00	0.00	215.63	741
153		Propane Tanks Prep work	1	ea	625.00	0.00	862.50	1,487.50	625.00	0.00	862.50	1,488
154		Excavate for piping	58	cy	0.00	6.41	9.21	15.63	0.00	370.96	533.26	904
155		Backfill for piping	56	cy	0.00	4.11	6.45	10.56	0.00	228.51	358.35	587
156		Excavate for main tap (street)	46	cy	0.00	5.88	9.21	15.09	0.00	272.04	426.61	699
157		Backfill for main tap (street)	46	cy	0.00	6.29	9.86	16.14	0.00	291.01	456.35	747
158		Sand bed	2	cy	22.50	4.11	6.45	33.06	52.08	9.52	14.93	77
159		Loose excess materials on site	2	cy	0.00	4.11	6.45	10.56	0.00	9.52	14.93	24
160		DATA / COMMUNICATION	3									
161		Conduit Piping / 2ea	210	lf	6.75	0.00	4.93	11.68	1,417.50	0.00	1,035.00	2,453
162		Concrete duct bank	23	cy	250.00	0.00	86.25	336.25	5,833.33	0.00	2,012.50	7,846
163		Handhold 18"x18"	3	ea	500.00	0.00	17.25	517.25	1,500.00	0.00	51.75	1,552
164		Feeds / 2ea	210	lf	2.50	0.00	17.25	19.75	525.00	0.00	3,622.50	4,148
165		Excavate for conduit piping & handhold	243	cy	0.00	6.41	9.21	15.63	0.00	1,558.05	2,239.69	3,798
166		Backfill for conduit piping, on site materials	240	cy	0.00	4.11	6.45	10.56	0.00	987.41	1,548.44	2,536
167		Sand bed	10	cy	22.50	4.11	6.45	33.06	218.75	39.99	62.71	321
168		Loose excess materials on site	10	cy	0.00	4.11	6.45	10.56	0.00	39.99	62.71	103
169		ELECTRICAL	3									
170		Conduit Piping	210	lf	8.70	0.00	4.93	13.63	1,827.00	0.00	1,035.00	2,862
172		Concrete duct bank	23	cy	250.00	0.00	86.25	336.25	5,833.33	0.00	2,012.50	7,846
173		Transformer	1	ea	18,750.00	0.00	1,725.00	20,475.00	18,750.00	0.00	1,725.00	20,475
174		Feeds	210	lf	2.50	0.00	17.25	19.75	525.00	0.00	3,622.50	4,148

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175		Feeds	210	lf	2.50	0.00	17.25	19.75	525.00	0.00	3,622.50	4,148
176		Excavate for conduit piping & handhold	243	cy	0.00	6.41	9.21	15.63	0.00	1,558.05	2,239.69	3,798
177		Backfill for conduit piping, on site materials	233	cy	0.00	4.11	6.45	10.56	0.00	959.76	1,505.07	2,465
178		Sand bed	10	cy	22.50	4.11	6.45	33.06	218.75	39.99	62.71	321
179		Loose excess materials on site	10	cy	0.00	4.11	6.45	10.56	0.00	39.99	62.71	103
180												
181								Totals	106,871.92	28,850.18	80,822.46	216,545
182												
183												
184												
185												
186												
187												
188												
189	Div 2.6	Description PAVINGS AND WALKS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
190					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
191												
192		Concrete Walks: place concrete	25	CY	137.50	2.50	43.13	183.13	3,432.37	62.41	1,076.52	4,571
193		Concrete Walks: finish concrete	2,042	SF	0.13	0.08	1.44	1.65	255.30	170.20	2,935.95	3,361
194		Mesh for Concrete Walks	2,349	SF	0.27	0.00	3.08	3.35	643.76	0.00	7,235.02	7,879
195		Curbing for concrete sidewalks	90	lf	12.50	11.11	19.17	42.78	1,125.00	1,000.00	1,725.00	3,850
196	excavate	Excavate for Concrete Walks	72	cy	0.00	6.41	9.21	15.63	0.00	463.08	665.68	1,129
197	backfill	Concrete Walks Sub- Base Prep. (6" Gravel Base)	47	cy	0.00	4.11	6.45	10.56	0.00	194.47	304.96	499
198		Bituminous Paving , Binder 2" +1.5" Finish	2,094	sy	7.50	7.75	8.63	23.88	15,706.67	16,230.22	18,062.67	50,000
199	excavate	Excavate for Bit. Paving	1,164	cy	0.00	6.41	9.21	15.63	0.00	7,459.94	10,723.66	18,184
200	backfill	Bit. Pavement Sub- Base Prep. (12" Gravel Base)	875	cy	0.00	4.11	6.45	10.56	0.00	3,599.09	5,644.03	9,243
201		Bit. Curbing	450	lf	1.25	4.50	8.63	14.38	562.50	2,025.00	3,881.25	6,469
202		Entry Concrete Pads	2	ea	312.50	248.00	345.00	905.50	625.00	496.00	690.00	1,811
203		Equipment Concrete Pads	2	ea	312.50	248.00	345.00	905.50	625.00	496.00	690.00	1,811
204												
205								Totals	22,975.59	32,196.40	53,634.72	108,807
206												
207												
208												
209												
210												
211												
212												
213	Div 2.7	Description SITE IMPROVEMENTS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
214					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
215												
216		Site Improvements	11,040	sf	0.94	0.20	0.35	1.48	10,350.00	2,208.00	3,808.80	16,367
217												
218								Totals	10,350.00	2,208.00	3,808.80	16,367
219												
220												
221												
222												
223												

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224											
225											
226	Div 2.8	Description LANDSCAPING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
227					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
228											
229		Landscaping	5,520	sf	3.75	0.33	0.58	4.66	20,700.00	1,840.00	3,174.00
230		Loam 4"	128	cy	35.00	25.00	43.13	103.13	4,472.22	3,194.44	5,510.42
231		Seed	5,520	sf	0.09	0.36	0.62	1.06	483.00	1,971.43	3,400.71
232		Trees	18	ea	375.00	166.67	287.50	829.17	6,606.38	2,936.17	5,064.89
231		Bark Mulch	20	cy	43.75	3.75	14.38	61.88	892.07	76.46	293.11
232											
233								Totals	33,153.67	10,018.51	17,443.13
234											
235											
236											
237											
236											
237											
238											
239	Div 3.1	Description CONCRETE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
240					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
241											
242		Continuous Footings: forms	976	SFCA	0.45	0.00	3.85	4.30	438.44	0.00	3,758.04
243		Continuous Footings: rebar	2.20	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	2,524.89
244		Continuous Footings: place concrete	44	cy	137.50	2.50	43.13	183.13	6,037.78	109.78	1,893.67
245		Continuous Footings: finish concrete	912	SFCA	0.13	0.08	1.44	1.65	114.00	76.00	1,311.00
246		Reinforcing Steel materials	2.20	Tons	2,417.36	0.00	0.00	2,417.36	5,307.44	0.00	0.00
247											
248		Foundation Walls: forms	2,432	SFCA	0.45	0.00	5.39	5.84	1,092.50	0.00	13,110.00
249		Foundation Walls: rebar labor	2.25	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	2,589.63
250		Foundation Walls: place concrete	45	cy	137.50	2.50	43.13	183.13	6,192.59	112.59	1,942.22
251		Foundation Walls: finish concrete	304	SFCA	0.13	0.08	1.44	1.65	38.00	25.33	437.00
252		Reinforcing Steel materials	2.25	Tons	2,417.36	0.00	0.00	2,417.36	5,443.53	0.00	0.00
253											
254		Spread Footings: forms	221	SFCA	0.45	0.00	3.85	4.30	99.19	0.00	850.18
255		Spread Footings: rebar labor	1	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	940.44
256		Spread Footings: place concrete	16	cy	137.50	2.50	43.13	183.13	2,248.89	40.89	705.33
257		Spread Footings: finish concrete	221	SFCA	0.13	0.08	1.44	1.65	27.60	18.40	317.40
258		Reinforcing Steel materials	1	Tons	2,417.36	0.00	0.00	2,417.36	1,976.86	0.00	0.00
259											
260		Elevator Pad: footings: forms	36	SFCA	0.45	0.00	3.85	4.30	16.17	0.00	138.62
261		Elevator Pad: footings: rebar labor	0.2	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	172.50
262		Elevator Pad: place concrete	3	cy	137.50	2.50	43.13	183.13	412.50	7.50	129.38
263		Elevator Pad: finish concrete	81	SFCA	0.13	0.08	1.44	1.65	10.13	6.75	116.44
264		Reinforcing Steel materials	0.2	Tons	2,417.36	0.00	0.00	2,417.36	362.60	0.00	0.00
265											
266		Elevator Foundation Walls: forms	288	SFCA	0.45	0.00	3.85	4.30	129.38	0.00	1,108.93
267		Elevator Foundation Walls: rebar labor	0.3	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	306.67
268		Elevator Foundation Walls: place concrete	5	cy	137.50	2.50	43.13	183.13	733.33	13.33	230.00
269		Elevator Foundation Walls: finish concrete	36	SFCA	0.13	0.08	1.44	1.65	4.50	3.00	51.75
270		Reinforcing Steel materials	0.3	Tons	2,417.36	0.00	0.00	2,417.36	644.63	0.00	0.00
271											
272											
273		Slab on Grade: forms, exp jts, poly	5,520	SF	0.36	0.00	2.25	2.61	1,983.75	0.00	12,398.44
274		Slab on Grade: rebar labor	3	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	3,914.60
275		Mesh	6,072	SF	0.27	0.00	3.08	3.35	1,664.23	0.00	18,703.93
276		Slab on Grade: place concrete	68	CY	137.50	2.50	43.13	183.13	9,361.00	170.20	2,935.95
277		Slab on Grade: finish concrete	5,520	SF	0.13	0.08	1.44	1.65	690.00	460.00	7,935.00

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278	Reinforcing Steel materials	3	Tons	2,417.36	0.00	0.00	2,417.36	8,228.68	0.00	0.00	8,229
279											
280											
281	Topping Slab on Precast Planks forms 3"	5,520	SF	0.36	0.00	2.25	2.61	1,983.75	0.00	12,398.44	14,382
282	Slab on Metal Deck: rebar labor	0	Tons	0.00	0.00	1,150.00	1,150.00	0.00	0.00	0.00	0
283	Mesh	0.00	SF	0.27	0.00	3.08	3.35	0.00	0.00	0.00	0
284	Slab on Precast Planks place concrete	51	CY	137.50	2.50	43.13	183.13	7,027.78	127.78	2,204.17	9,360
285	Slab on Precast planks: finish concrete	5,520	SF	0.13	0.08	1.44	1.65	690.00	460.00	7,935.00	9,085
286											
287	Concrete for Metal Stair Pans	1	cy	225.00	100.00	1,725.00	2,050.00	297.00	132.00	2,277.00	2,706
288											
289											
290							Totals	63,256.23	1,763.55	103,336.60	168,356
291											
292											
293											
294											

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294													
295													
296													
297	Div3.2	Description	PRECAST CONCRETE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
298						Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
299													
300		Precast Concrete Planks		6,080	sf	6.25	2.60	3.45	12.30	38,000.00	15,808.00	20,976.00	74,784
301													
302													
303													
304									Totals	38,000.00	15,808.00	20,976.00	74,784
305													
306													
307													
308													
309													
310													
311													
312	Div 4.1	Description	MASONRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
313						Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
314													
315		CMU Block, grout, etc perimeter walls		7,296	blk	5.00	3.60	13.80	22.40	36,480.00	26,265.60	100,684.80	163,430
316		Block Veneer		0	blk	8.75	3.60	13.80	26.15	0.00	0.00	0.00	0
316		Brick Veneer		42,560	brk	3.75	1.13	4.31	9.19	159,600.00	47,880.00	183,540.00	391,020
317		CMU Block, grout, etc interiors walls bearing		0	blk	5.00	2.56	13.80	21.36	0.00	0.00	0.00	0
318													
319													
317		CMU Block, grout, etc interiors walls		4,416	blk	5.00	3.20	13.80	22.00	22,080.00	14,131.20	60,940.80	97,152
318		CMU Block, grout, etc stairs and elevator		5,252	blk	5.00	3.20	13.80	22.00	26,260.00	16,806.40	72,477.60	115,544
319													
320									Totals	244,420.00	105,083.20	417,643.20	767,146
321													
322													
323													
324													
325													
326													
327													
328	Div 5.1	Description	STRUCTURAL STEEL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
329						Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
330													
331		Structural Steel, columns beams, bar joists trusses		35	T	2,125.00	1,133.33	1,150.00	4,408.33	74,375.00	39,666.67	40,250.00	154,292
332		Metal Decking		7,300	sf	3.13	1.81	2.16	7.09	22,812.50	13,231.25	15,740.63	51,784
340													
341									Totals	97,187.50	52,897.92	55,990.63	206,076
342													
343													
344													
345													

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346												
324												
325												
326	Div 5.2	Description METALS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
327					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
328												
329		Stairs	36	riser	375.00	30.56	95.83	501.39	13,500.00	1,100.00	3,450.00	18,050
330												
331												
332		Lintels, Connectors, Brackets, Misc Supports, etc.	0.5	T	2,125.00	1,133.33	1,150.00	4,408.33	1,062.50	566.67	575.00	2,204
333												
334												
335		Cage Ladder and Hatch to attic	1	ea	1,125.00	175.00	862.50	2,162.50	1,125.00	175.00	862.50	2,163
336		Metal Canopy and supports	100	sf	87.50	0.00	21.56	109.06	8,750.00	0.00	2,156.25	10,906
337		Bollards	2.0	ea	2.50	200.00	345.00	547.50	5.07	405.33	699.20	1,110
338												
339								Totals	24,442.57	2,247.00	7,742.95	34,433
340												
341												
342												
343												
344												
345												
346												
347	Div 6.1	Description ROUGH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
348					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
349												
350		Rough Carpentry	11,040	sf	0.31	0.00	0.58	0.89	3,450.00	0.00	6,348.00	9,798
350		Exterior Wood sheathing	7,300	sf	2.34	0.00	4.31	6.66	17,109.38	0.00	31,481.25	48,591
351												
352								Totals	20,559.38	0.00	37,829.25	58,389
353												
354												
356												
357												
358												
359	Div 6.2	Description FINISH CARPENTRY	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
360					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
361												
362		Finish Carpentry	11,040	sf	0.63	0.00	0.69	1.32	6,900.00	0.00	7,617.60	14,518
363												
364								Totals	6,900.00	0.00	7,617.60	14,518
365												
366												
367												
368												
369												
370												
371	Div 6.3	Description ARCHITECTURAL WOODWORK	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
372					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
373												
374		Cabinetry	30	lf	201.25	0.00	24.64	225.89	6,037.50	0.00	739.29	6,777
375												
376								Totals	6,037.50	0.00	739.29	6,777
377												

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378												
379												
380												
381												
382												
383	Div 7.1	Description WATERPROOFING, Sealants	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
384					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
385												
386		Foundation Wall	3,040	sf	0.50	0.00	1.92	2.42	1,520.00	0.00	5,826.67	7,347
387												
388												
389		Exterior Sealants , Control Joints	223	lf	5.00	0.00	43.13	48.13	1,114.67	0.00	9,614.00	10,729
390												
391												
392		Fire stopping all penetrations	11,040	sf	0.19	0.00	0.43	0.62	2,070.00	0.00	4,761.00	6,831
393												
394												
395		Interior Caulking	11,040	sf	0.31	0.00	0.49	0.81	3,450.00	0.00	5,441.14	8,891
396												
397												
398								Totals	8,154.67	0.00	25,642.81	33,797
399												
400												
401												
402												
403												
404	Div 7.2	Description INSULATION	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
405					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
406												
407		Foundation slab and walls	9,120	sf	1.69	0.00	2.16	3.84	15,390.00	0.00	19,665.00	35,055
408												
409												
410		Insulation interior walls / 50%	10,000	sf	0.39	0.00	1.71	2.11	3,940.63	0.00	17,113.10	21,054
411		Insulation walls perimeter	6,000	sf	0.39	0.00	1.71	2.11	2,364.38	0.00	10,267.86	12,632
412												
413								Totals	21,695.00	0.00	47,045.95	68,741
414												
415												
416												
417												
418	Div 7.3	Description ROOFING & SIDING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
419					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
420												
421		Roof Drains	0	ea	125.00	0.00	172.50	297.50	0.00	0.00	0.00	0
422		Roof Hatches	1	ea	625.00	75.00	431.25	1,131.25	625.00	75.00	431.25	1,131
423		Asphalt shingles	7,300	sf	1.88	0.20	3.45	5.53	13,687.50	1,460.00	25,185.00	40,333
424		Aluminum Flashing & misc	120	lf	3.13	0.00	4.31	7.44	375.00	0.00	517.50	893
425		Soffit Vent Baffles	0	lf	0.16	0.00	0.86	1.02	0.00	0.00	0.00	0
426		Ridge Vents	0	lf	1.25	0.00	4.31	5.56	0.00	0.00	0.00	0
427		Remove downspouts	111	lf	0.13	0.38	2.16	2.66	13.88	41.63	239.34	295
428		Gutters	120	lf	5.63	0.60	3.45	9.68	675.00	72.00	414.00	1,161
429		Downspouts RWL	180	lf	3.75	0.75	4.31	8.81	675.00	135.00	776.25	1,586
431		Metal Wall Panels Insulated	1,800	sf	5.00	0.00	17.25	22.25	9,000.00	0.00	31,050.00	40,050
432												
433								Totals	25,051.38	1,783.63	58,613.34	85,448

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434												
435												
436												
437												
438												
439												
440	Div 8.1	Description DOORS & FRAMES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
441					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
442												
443		Exterior Doors single hung	3	ea	1,237.50	0.00	191.67	1,429.17	3,712.50	0.00	575.00	4,288
444		Exterior Doors Double hung	1	pr	2,200.00	0.00	246.43	2,446.43	2,200.00	0.00	246.43	2,446
445		Interior Doors Single Hung	52	ea	1,237.50	0.00	191.67	1,429.17	64,350.00	0.00	9,966.67	74,317
446		Interior Doors Double Hung	0	pr	2,200.00	0.00	246.43	2,446.43	0.00	0.00	0.00	0
447		Attic Doors	0	ea	1,237.50	0.00	191.67	1,429.17	0.00	0.00	0.00	0
448												
449		Subtotal	56	ea								
450		Door sidelight , Vision Panels	20	ea	1,100.00	0.00	191.67	1,292	22,000.00	0.00	3,833.33	25,833
451												
452								Totals	92,262.50	0.00	14,621.43	106,884
453												
454												
455												
456												
457												
458	Div 8.2	Description HARDWARE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
459					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
460												
461		Door Hardware	48	ea	568.75	0.00	123.21	692	27,300.00	0.00	5,914.29	33,214
462		Door Hardware with Panic	8	ea	693.75	0.00	123.21	817	5,550.00	0.00	985.71	6,536
463												
464								Totals	32,850.00	0.00	6,900.00	39,750
465												
466												
467												
468												
469												
470												
471	Div 8.3	Description GLASS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
472					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
473												
474		Perimeter exterior window units	52	ea	656.25	0.00	215.63	871.88	34,125.00	0.00	11,212.50	45,338
475		Panning for exterior window units	713	lf	2.50	0.00	6.74	9.24	1,782.50	0.00	4,804.39	6,587
476												
477		Storefront	42	sf	43.75	4.38	21.56	69.69	1,837.50	183.75	905.63	2,927
478		Storefront door	2	pr	1,250.00	43.75	215.63	1,509.38	2,500.00	87.50	431.25	3,019
479												
480		Interior Glazing	552	sf	43.75	0.00	10.27	54.02	24,150.00	0.00	5,667.86	29,818
481												
482								Totals	64,395.00	271.25	23,021.63	87,688
483												
484												
485												
486												

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487												
488												
489												
490												
491	Div 9.1	Description DRYWALL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
492					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
493												
494		Metal Stud Exterior Wall 3-5/8	6,080	sf	2.07	0.00	2.03	4.10	12,585.60	0.00	12,350.00	24,936
495		Metal Stud Interior Wall 3-5/8	20,000	sf	2.07	0.00	2.03	4.10	41,400.00	0.00	40,625.00	82,025
496		Drywall Board Install Exterior Walls	6,080	sf	0.58	0.00	0.89	1.47	3,550.63	0.00	5,395.06	8,946
497		Drywall Board Finish Exterior Walls (Plaster Veneer)	0	sf	0.14	0.00	1.60	1.74	0.00	0.00	0.00	0
498		Drywall Board Finish Exterior Walls (Taping Level 4)	6,080	sf	0.07	0.00	1.00	1.07	407.87	0.00	6,069.44	6,477
499		Drywall Board Install Interior Walls	40,000	sf	0.58	0.00	0.89	1.47	23,359.38	0.00	35,493.83	58,853
500		Drywall Board Finish Interior Walls (Taping Level 4)	40,000	sf	0.07	0.00	1.00	1.07	2,683.33	0.00	39,930.56	42,614
501		Blocking In Metal Stud walls only	200	lf	3.00	0.00	4.31	7.31	600.00	0.00	862.50	1,463
502												
503												
504								Totals	84,586.80	0.00	140,726.39	225,313
505												
506												
507												
508												
509												
510												
511												
512												
513	Div 9.2	Description TILE	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
514					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
515												
516		Bathroom Floors	500	sf	3.38	0.00	24.64	28.02	1,687.50	0.00	12,321.43	14,009
517		Bathroom Walls/Wainscot	770	sf	3.38	0.00	24.64	28.02	2,598.75	0.00	18,975.00	21,574
518		Kitchen Tile Floors	150	sf	3.38	0.00	24.64	28.02	506.25	0.00	3,696.43	4,203
519												
520								Totals	4,792.50	0.00	34,992.86	39,785
521												
522												
523												
524												
525												
526												
527	Div 9.3	Description CARPET	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
528					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
529												
530		Carpet 50%	705	sy	23.44	0.00	8.63	32.06	16,523.44	0.00	6,080.63	22,604
531												
532								Totals	16,523.44	0.00	6,080.63	22,604
533												
534												
535												

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536												
537												
538												
539	Div 9.4	Description RESILIENT	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
540					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
541												
543		RRB Flooring and Rubber Base 50%	5,520	sf	2.34	0.00	2.88	5.22	12,937.50	0.00	15,870.00	28,808
544		Rubber Treads and Risers	36	r	57.81	0.00	57.50	115.31	2,081.25	0.00	2,070.00	4,151
545		Entry MAT Recessed	2	ea	781.25	0.00	143.75	925.00	1,562.50	0.00	287.50	1,850
546												
547								Totals	16,581.25	0.00	18,227.50	34,809
548												
549												
550												
551												
552												
553												
554												
555	Div 9.5	Description ACOUSTICAL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
556					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
557												
558		Acoustical ceiling Grid System 70%	7,728	sf	1.00	0.00	2.99	3.99	7,728.00	0.00	23,143.75	30,872
559		Acoustical Ceiling Tiles	7,728	sf	2.50	0.00	1.50	4.00	19,320.00	0.00	11,571.88	30,892
560												
561								Totals	27,048.00	0.00	34,715.63	61,764
562												
563												
564												
565												
566												
567												
568												
569	Div 9.6	Description PAINTING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
570					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
571												
572		Walls GYP p.w.	6,000	sf	0.50	0.00	0.96	1.46	3,000.00	0.00	5,750.00	8,750
573		Walls GYP i.w.	20,000	sf	0.50	0.00	0.96	1.46	10,000.00	0.00	19,166.67	29,167
574		Cells, walls, ceilings	3,300	sf	0.50	0.00	0.86	1.36	1,650.00	0.00	2,846.25	4,496
575		Doors	56	ea	25.00	0.00	71.88	96.88	1,400.00	0.00	4,025.00	5,425
576		Ceiling	3,312	sf	1.00	0.00	1.15	2.15	3,312.00	0.00	3,808.80	7,121
577		Misc. Other Painting	11,040	sf	0.31	0.00	0.49	0.81	3,450.00	0.00	5,441.14	8,891
578		Exterior misc	11,040	sf	0.06	0.00	0.69	0.75	690.00	0.00	7,617.60	8,308
579												
580								Totals	23,502.00	0.00	48,655.46	72,157
581												
582												

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583												
584												
585												
586												
587	Div 10.1	Description SPECIALTIES	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
588					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
589												
590		Display Boards	2	ea	375.00	0.00	172.50	547.50	750.00	0.00	345.00	1,095
591		Louvers and Vents	2	ea	500.00	0.00	345.00	845.00	1,000.00	0.00	690.00	1,690
592		Fire Extinguishers	2	ls	500.00	0.00	86.25	586.25	1,000.00	0.00	172.50	1,173
593		Toilet Accessories: Mirrors	4	ea	87.50	0.00	115.00	202.50	350.00	0.00	460.00	810
594		Waste Receptacles	4	ea	187.50	0.00	101.47	288.97	750.00	0.00	405.88	1,156
595		Paper Towel Dispenser	4	ea	350.00	0.00	101.47	451.47	1,400.00	0.00	405.88	1,806
596		Sanitary Napkin Disposal	2	ea	375.00	0.00	101.47	476.47	750.00	0.00	202.94	953
597		Toilet Paper Holder	6	ea	62.50	0.00	86.25	148.75	375.00	0.00	517.50	893
598		Seat Cover Dispenser	6	ea	75.00	0.00	101.47	176.47	450.00	0.00	608.82	1,059
599		Coat Hook	8	ea	12.50	0.00	69.00	81.50	100.00	0.00	552.00	652
600		42" grab bars	8	ea	112.50	0.00	115.00	227.50	900.00	0.00	920.00	1,820
601		Hand dryer	4	ea	500.00	0.00	287.50	787.50	2,000.00	0.00	1,150.00	3,150
602		Toilet Partitions	6	ea	1,125.00	0.00	345.00	1,470.00	6,750.00	0.00	2,070.00	8,820
603		Urinal Screens	2	ea	375.00	0.00	215.63	590.63	750.00	0.00	431.25	1,181
604												
605								Totals	17,325.00	0.00	8,931.78	26,257
606												
607												
608												
609												
610												
611												
612												
613	Div 11.1	Description EQUIPMENT	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
614					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
615												
616		Refrigerator	1	ea	750.00	0.00	215.63	965.63	750.00	0.00	215.63	966
617		Dishwasher	1	ea	625.00	0.00	345.00	970.00	625.00	0.00	345.00	970
618		Garbage Disposal	1	ea	231.25	0.00	287.50	518.75	231.25	0.00	287.50	519
619		Microwave	1	ea	250.00	0.00	115.00	365.00	250.00	0.00	115.00	365
620												
621								Totals	1,856.25	0.00	963.13	2,819
622												
623												
624												
625												
626												
627												
628												
629	Div 12.1	Description FURNISHINGS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
630					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
631												
632		Window Shades Manual	41	ea	187.50	0.00	115.00	302.50	7,600.00	0.00	4,661.33	12,261
634												
635								Totals	7,600.00	0.00	4,661.33	12,261
636												
637												
638												
639												

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640												
641												
642												
643	Div 14	Description ELEVATORS	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
644					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
645												
646	rough	Elevator Pit Work	1	ea	3,750.00	0.00	3,900.00	7,650.00	3,750.00	0.00	3,900.00	7,650
647	rough	Elevator Shaft	2	fl	8,750.00	0.00	7,800.00	16,550.00	17,500.00	0.00	15,600.00	33,100
648	rough	Elevator Equipment	1	ea	3,750.00	0.00	7,800.00	11,550.00	3,750.00	0.00	7,800.00	11,550
649	rough	Elevator Cab Rough	1	ea	5,000.00	0.00	7,800.00	12,800.00	5,000.00	0.00	7,800.00	12,800
650												
651												
652	finish	Elevator Cab Finishes	1	ea	8,750.00	0.00	15,600.00	24,350.00	8,750.00	0.00	15,600.00	24,350
653												
654								Totals	38,750.00	0.00	50,700.00	89,450
655												
656												
657												

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658												
659												
660												
661	Div 15.2	Description PLUMBING	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
662					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
663												
664	rough	Underground plumbing: sanitary	5,520	sf	1.00	0.03	0.39	1.42	5,520.00	165.60	2,152.80	7,838
665	rough	Underground storm	5,520	sf	0.88	0.03	0.33	1.23	4,830.00	138.00	1,794.00	6,762
666	rough	Reducer pressure backflow preventer	5,520	sf	0.38	0.02	0.20	0.59	2,070.00	82.80	1,076.40	3,229
667	rough	Backwater valve	5,520	sf	0.25	0.02	0.20	0.46	1,380.00	82.80	1,076.40	2,539
668												
669												
670												
671	rough	Building Utility Connections; Sanitary, Storm, Gas, Water	1	ea	625.00	150.00	1,950.00	2,725.00	625.00	150.00	1,950.00	2,725
672												
673	rough	Water Closets regular	3	ea	0.00	75.00	975.00	1,050.00	0.00	225.00	2,925.00	3,150
674	rough	Water Closets ADA	3	ea	0.00	75.00	975.00	1,050.00	0.00	225.00	2,925.00	3,150
675	rough	Lavatory regular	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00	2,100
676	rough	Lavatory ADA	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00	2,100
677	rough	Urinal ADA	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00	2,100
678	rough	Drinking Fountain	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00	2,100
679	rough	Kitchenette Sink	1	ea	0.00	75.00	975.00	1,050.00	0.00	75.00	975.00	1,050
680	rough	Janitor's Sink	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00	2,100
681	rough	Exterior wall hydrants	4	ea	0.00	75.00	975.00	1,050.00	0.00	300.00	3,900.00	4,200
682	rough	Floor drains, primers	2	ea	0.00	75.00	975.00	1,050.00	0.00	150.00	1,950.00	2,100
683	rough	Roof drains	4	ea	0.00	75.00	975.00	1,050.00	0.00	276.00	3,588.00	3,864
684	rough	Dishwasher	1	ea	662.50	37.50	487.50	1,187.50	662.50	37.50	487.50	1,188
685	rough	Garbage disposal	1	ea	287.50	37.50	487.50	812.50	287.50	37.50	487.50	813
686	rough	Hot Water Tank / storage	1	ea	1,037.50	50.00	650.00	1,737.50	1,037.50	50.00	650.00	1,738
687	Insulation	Insulation 3/4 " Copper service jacket	330	lf	2.50	0.00	6.50	9.00	825.00	0.00	2,145.00	2,970
688	Insulation	Insulation 1/2" Copper service jacket	440	lf	2.50	0.00	4.88	7.38	1,100.00	0.00	2,145.00	3,245
689												
690												
691												
692												
693	finish	Water Closets regular	3	ea	40.00	37.50	487.50	565.00	120.00	112.50	1,462.50	1,695
694	finish	Water Closets ADA	3	ea	262.50	37.50	487.50	787.50	787.50	112.50	1,462.50	2,363
695	finish	Lavatory ADA	2	ea	287.50	37.50	487.50	812.50	575.00	75.00	975.00	1,625
696	finish	Urinal	2	ea	40.00	37.50	487.50	565.00	80.00	75.00	975.00	1,130
697	finish	Shower regular	2	ea	40.00	37.50	487.50	565.00	80.00	75.00	975.00	1,130
698	finish	Kitchen Sink regular	2	ea	40.00	37.50	487.50	565.00	80.00	75.00	975.00	1,130
699	finish	Janitor's Sink	1	ea	662.50	37.50	487.50	1,187.50	662.50	37.50	487.50	1,188
700	finish	Washing Machine box	2	ea	40.00	37.50	487.50	565.00	80.00	75.00	975.00	1,130
701	finish	Floor drains, primers	4	ea	131.25	37.50	487.50	656.25	525.00	150.00	1,950.00	2,625
702	finish	Roof drains	2	ea	131.25	37.50	487.50	656.25	262.50	75.00	975.00	1,313
703	finish	Dishwasher	4	ea	662.50	37.50	487.50	1,187.50	2,438.00	138.00	1,794.00	4,370
704	finish	Garbage disposal	1	ea	287.50	37.50	487.50	812.50	287.50	37.50	487.50	813
705	finish	Washer / Dryer connect	1	ea	37.50	37.50	487.50	562.50	37.50	37.50	487.50	563
706	finish	Final Turn Over, Flushing , Testing, Tags.	11,040	sf	0.13	0.00	0.33	0.45	1,380.00	0.00	3,588.00	4,968
707												
708								Totals	25,733.00	3,820.70	57,547.10	87,101
709												
710												

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711											
712											
713											
714	Div 15.3	Description HVAC	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost
715					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor
716											
717	Rough	Ductwork supply and returns	11,040	sf	3.94	0.00	3.25	7.19	43,470.00	0.00	35,880.00
718											
718	Rough	VAV Boxes	6	ea	45.00	0.00	195.00	240.00	283.89	0.00	1,230.17
719	Rough	Bathroom Fans	4	ea	270.00	0.00	650.00	920.00	1,080.00	0.00	2,600.00
720	Rough	Kitchen Fans (supplied by others)	1	ea	120.00	0.00	650.00	770.00	120.00	0.00	650.00
721	Rough	Smoke fan & exhaust ductwork	11,040	sf	1.80	0.00	1.30	3.10	19,872.00	0.00	14,352.00
722	Rough	AC unit for tele/data & ductwork	1	ea	251.80	0.00	1,950.00	2,201.80	251.80	0.00	1,950.00
723	Rough	Refrigerant piping	11,040	sf	1.13	0.00	0.49	1.61	12,420.00	0.00	5,382.00
724	Rough	Controls/ wiring	11,040	sf	0.31	0.00	0.49	0.80	3,450.00	0.00	5,382.00
725	Insulation	Insulated cw and hot water to piping	11,040	sf	0.50	0.00	0.56	1.06	5,520.00	0.00	6,150.86
726	Insulation	Insulated foil / vinyl faced ductwork	6,338	sf	0.63	0.00	0.98	1.61	3,992.80	0.00	6,179.33
727	Finish	Ductwork supply and returns Diffusers	55	ea	22.50	0.00	65.00	87.50	1,242.00	0.00	3,588.00
728	Finish	Ductwork supply and returns Diffusers	55	ea	22.50	0.00	65.00	87.50	1,242.00	0.00	3,588.00
729	Finish	VAV Boxes	6	ea	750.00	0.00	975.00	1,725.00	4,731.43	0.00	6,150.86
730	Finish	Roof Top Units A/C / FHA	32	Ton	750.00	0.00	195.00	945.00	23,657.14	0.00	6,150.86
731	Finish	Energy Recovery Wheel	1	ea	750.00	0.00	975.00	1,725.00	750.00	0.00	975.00
732	Finish	Bathroom Fans	4	ea	22.50	0.00	487.50	510.00	90.00	0.00	1,950.00
733	Finish	Kitchen Fans (supplied by others)	1	ea	22.50	0.00	243.75	266.25	22.50	0.00	243.75
734	Finish	Laundry Exhaust (Dryer supplied by others)	11	ea	22.50	0.00	243.75	266.25	247.50	0.00	2,681.25
735	Finish	Smoke exhaust ductwork	11,040	sf	0.38	0.00	0.39	0.77	4,140.00	0.00	4,305.60
736	Finish	AC unit for tele/data & ductwork	2	ea	251.80	0.00	1,950.00	2,201.80	555.97	0.00	4,305.60
737	Finish	Controls	11,040	sf	1.13	0.00	0.39	1.52	12,420.00	0.00	4,305.60
738	Finish	Testing and Balancing	11,040	sf	0.63	0.00	0.65	1.28	6,900.00	0.00	7,176.00
739											
740								Totals	102,989.03	0.00	89,296.88
741											
742											
743											
744											
745											
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749												
750	Div 16.1	Description ELECTRICAL	Quantity	Unit	Unit Cost	Unit Cost	Unit Cost	Total	Total Cost	Total Cost	Total Cost	Total
751					Material	Equipment	Labor	Unit Cost	Material	Equipment	Labor	Item Cost
752												
753	Rough	Electrical under SOG	11,040	sf	0.63	0.00	0.78	1.41	6,900.00	0.00	8,611.20	15,511
754	Rough	Main Service, Panels, Distribution	1,380	Amp	7.50	0.00	9.75	17.25	10,350.00	0.00	13,455.00	23,805
755	Rough	Light Fixtures	72	ea	37.50	0.00	243.75	281.25	2,700.00	0.00	17,550.00	20,250
756	Rough	Outlets	208	ea	37.50	0.00	139.29	176.79	7,800.00	0.00	28,971.43	36,771
757	Rough	Switches; Single Poles, 3ways	10	ea	37.50	0.00	139.29	176.79	375.00	0.00	1,392.86	1,768
758	Rough	Occupancy Sensor Switches; wall, ceiling	50	ea	37.50	0.00	139.29	176.79	1,875.00	0.00	6,964.29	8,839
759	Rough	Telephone / CATV / Data	50	ea	3.75	0.00	139.29	143.04	187.50	0.00	6,964.29	7,152
760	Rough	Fans/Motors/Equipment	2	ea	156.25	0.00	487.50	643.75	312.50	0.00	975.00	1,288
761	Rough	Hand Dryers	2	ea	156.25	0.00	325.00	481.25	345.00	0.00	717.60	1,063
762	Rough	VAV Boxes (supplied by others)	6	ea	75.00	0.00	650.00	725.00	473.14	0.00	4,100.57	4,574
763	Rough	Water Coolers (supplied by others)	2	ea	156.25	0.00	487.50	643.75	345.00	0.00	1,076.40	1,421
764	Rough	Lighting Protection	304	lf	93.75	0.00	19.50	113.25	28,500.00	0.00	5,928.00	34,428
765	Rough	Card Readers	0	ea	93.75	0.00	487.50	581.25	0.00	0.00	0.00	0
766	Rough	Motorized Screens	0	ea	93.75	0.00	487.50	581.25	0.00	0.00	0.00	0
767	Rough	Cabinet Unit Heaters	0	ea	93.75	0.00	487.50	581.25	0.00	0.00	0.00	0
768	Rough	Make Up Air Unit	1	ea	93.75	0.00	650.00	743.75	93.75	0.00	650.00	744
769	Rough	Kitchen Vents	1	ea	93.75	0.00	325.00	418.75	93.75	0.00	325.00	419
770	Rough	Laundry Vents	0	ea	93.75	0.00	325.00	418.75	0.00	0.00	0.00	0
771	Rough	Dishwasher (supplied by others)	1	ea	93.75	0.00	243.75	337.50	93.75	0.00	243.75	338
772	Rough	Electric Hot Water Heater (supplied by others)	2	ea	93.75	0.00	487.50	581.25	187.50	0.00	975.00	1,163
773	Rough	Life Safety	11,040	sf	0.88	0.00	0.65	1.53	9,660.00	0.00	7,176.00	16,836
774	Rough	Temps.	11,040	sf	0.25	0.00	0.33	0.58	2,760.00	0.00	3,588.00	6,348
775	Rough	Misc Electrical, etc	11,040	sf	0.63	0.00	0.39	1.02	6,900.00	0.00	4,305.60	11,206
776	Finish	Main Service, Panels, Distribution	1,380	Amp	3.75	0.00	9.75	13.50	5,175.00	0.00	13,455.00	18,630
777	Finish	Light Fixtures	72	ea	375.00	0.00	243.75	618.75	27,000.00	0.00	17,550.00	44,550
778	Finish	Outlets	208	ea	6.25	0.00	139.29	145.54	1,300.00	0.00	28,971.43	30,271
779	Finish	Switches; Single Poles, 3ways	10	ea	6.25	0.00	139.29	145.54	62.50	0.00	1,392.86	1,455
780	Finish	Occupancy Sensor Switches; wall, ceiling	50	ea	18.75	0.00	139.29	158.04	937.50	0.00	6,964.29	7,902
781	Finish	Telephone / CATV / Data	50	ea	18.75	0.00	139.29	158.04	937.50	0.00	6,964.29	7,902
782	Finish	Fans/Motors/Equipment	2	ea	0.00	0.00	487.50	487.50	0.00	0.00	975.00	975
783	Finish	Hand Dryers	2	ea	500.00	0.00	325.00	825.00	1,104.00	0.00	717.60	1,822
784	Finish	VAV Boxes (supplied by others)	6	ea	25.00	0.00	650.00	675.00	150.00	0.00	3,900.00	4,050
785	Finish	Water Coolers (supplied by others)	2	ea	50.00	0.00	487.50	537.50	110.40	0.00	1,076.40	1,187
786	Finish	Lighting Protection	304	lf	1.25	0.00	19.50	20.75	380.00	0.00	5,928.00	6,308
787	Finish	Make Up Air Unit	1	ea	0.00	0.00	650.00	650.00	0.00	0.00	650.00	650
788	Finish	Kitchen Vents	1	ea	62.50	0.00	325.00	387.50	62.50	0.00	325.00	388
789	Finish	Bathroom Exhausts	4	ea	156.25	0.00	243.75	400.00	625.00	0.00	975.00	1,600
790	Finish	Dishwasher (supplied by others)	1	ea	62.50	0.00	243.75	306.25	62.50	0.00	243.75	306
791	Finish	Electric Hot Water Heater (supplied by others)	2	ea	0.00	0.00	487.50	487.50	0.00	0.00	975.00	975
792	Finish	Life Safety	11,040	sf	1.13	0.00	0.78	1.91	12,420.00	0.00	8,611.20	21,031
793	Finish	Misc Electrical, etc	11,040	sf	0.06	0.00	0.39	0.45	690.00	0.00	4,305.60	4,996
794												
795								Totals	131,343.79	0.00	218,925.39	350,269
796												
797		Emergency Generator	152	KW	468.75	0.00	32.50	501.25	71,156.25	0.00	4,933.50	76,090
798												
799								Totals	71,156.25	0.00	4,933.50	76,090
800												
801												
802											Total Cost	426,359
803												